

# NORTHERN INDIANA COMMUTER TRANSPORTATION DISTRICT

TRANSIT DEVELOPMENT DISTRICT



**CHARACTER-BASED ZONING CODE TEMPLATE  
FOR INCLUSION IN CITY OF MICHIGAN CITY IN EXISTING ZONING ORDINANCE**



**NICTD**

Northern Indiana Commuter  
Transportation District

**DRAFT**

August  
2023



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# ARTICLE I: GENERAL

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## SECTION 1 COMMON REFERENCE.

This Article of the **City Zoning Ordinance**, as the same may be amended from time to time, is referred to herein, and otherwise may be referred to as this **Article** or this "Character-Based Code".

## SECTION 2 INTENT.

The intent of this Character-Based Code is to provide for walkable, Mixed Use, Character-Based, Buildings, Lots, Development and re-Development within all or such parts of each NICTD Transit Development District identified on the City's Zoning Map (each, a "TDD", or if more than one, "TDDs").

Approval of a Regulating Plan must be obtained as a zoning map amendment (each, a "Regulating Plan", or if more than one, "Regulating Plans") for a TDD or part thereof to be governed by this Character-Based Code. See Sections I.6 and I.7.

## SECTION 3 APPLICABILITY.

### A. General.

This Character-Based Code, each Regulating Plan, and the standards and requirements of this Character-Based Code, shall be applicable to an area and to all Development, re-Development, Improvements, land, Structures, modifications, construction, re-construction, Buildings and Lots in such area upon approval of a Regulating Plan for such area.

### B. Exclusive Zoning Regulation.

Except as may be otherwise specifically provided in this Character-Based Code, upon approval of a Regulating Plan for an area, this Character-Based Code shall be the exclusive and mandatory zoning regulation for such area, and the provisions of this Character-Based Code shall be applied to such area.

### C. Relationship to Other Provisions.

1. The provisions of this Character-Based Code shall take precedence over those of other City codes, ordinances, regulations, and standards that may be in conflict with this Character-Based Code, except health and safety codes. Without limitation, the provisions of this Character-Based Code shall take precedence over any other provision of the **City Zoning Ordinance**, the **City Subdivision Regulations**, or the **City Land Development Ordinance** that may be in conflict with this Character-Based Code.
2. All City codes, ordinances, regulations, and standards (collectively, the "Existing Local Codes"), including without limitation, the **City Subdivision Regulations**, **City Land Development Ordinance**, and all other provisions of the **City Zoning Ordinance**, shall continue to be applicable to matters not covered by this Character-Based Code, except where the Existing Local Codes are inconsistent with, or in conflict with, this Character-Based Code.

# ARTICLE I: GENERAL

## D. Compliance.

Except for legal non-conformities allowed under the **City Zoning Ordinance**, within an area for which a Regulating Plan has been approved, all Development, re-Development, land, Improvements, construction, re-construction, modifications, Structures, Buildings and Lots, and all plans, applications and submissions required or submitted under this Character-Based Code, must comply with this Character-Based Code and the standards hereof as the same are in effect at the time of submission of a the complete application for a proposal, and pursuant to the applicable approved Regulating Plan, any applicable approved Site Plan, and any applicable approved Development Plan.

## SECTION 4

### TABLES, MAPS, PHOTOGRAPHS, IMAGES, ILLUSTRATIONS, FIGURES, GRAPHICS, DIAGRAMS & DEPICTIONS.

1. Maps and the standards and requirements of Tables herein are an integral part of this Character-Based Code.
2. The diagrams, photographs and illustrations in **Table III.2.A (Character District Standards)**, **Table III.2.B (Civic Zone Standards)**, **Table III.5.A (Private Frontage Types)**, **Table III.5.G.1 (Building Types – Summary)**, **Table III.5.G.2 (Building Types – Specific Standards)**, and **Table III.13.C.1 (Civic Space Types – Summary)** are provided only to indicate the general character or placement of and/or reference to the various Character Districts, Civic Zones, and Civic Spaces, and elements thereof, shown thereon, and they shall have regulatory force and effect only to that extent.
3. The illustrations in **Table III.11.B (Private & Public Lighting Types)** are provided only as an approximation of the various Public Planting Types, Public Lighting Types, and Private Lighting Types and they shall have regulatory force and effect only to that extent.

4. All graphical and tabular depictions entitled “Illustration” or “Figure”, or denoted as “illustrative” are provided for illustrative, explanatory purposes only and are not regulatory.

5. Where in conflict, numerical metrics shall take precedence over graphic metrics.

## SECTION 5 DEFINITIONS.

Capitalized terms used throughout this Character-Based Code may be defined in Article III (Definitions) and elsewhere in this Character-Based Code and other parts of the **City Zoning Ordinance**. Such definitions are integral to this Character-Based Code. Terms not so defined shall be accorded the meaning given to such terms in Merriam-Webster’s College Dictionary. In the event of conflicts between the definitions in this Character-Based Code and other definitions of the **City Zoning Ordinance**, those of this Character-Based Code shall take precedence.

## SECTION 6 PREPARATION AND ADOPTION OF REGULATING PLANS.

### A. Initial Regulating Plan and Amendments.

An initial Regulating Plan for each area to be regulated by this Character-Based Code shall be prepared by or on behalf of the City, and shall be submitted, reviewed, and acted upon as a zoning map amendment. This Character-Based Code shall be effective with respect to such areas of the City when and for which a Regulating Plan has been adopted.

Additional Regulating Plans and amendments to Regulating Plans may be prepared, submitted and acted upon as zoning map amendments.

## B. Contents of Regulating Plan.

In addition to all other items required for a zoning map amendment, each Regulating Plan and each amendment thereto shall reflect for the area to be regulated thereby:

1. Existing zoning districts and proposed Character Districts and Civic Zones;
2. Proposed Thoroughfares, existing Thoroughfares, and any proposed changes to existing Thoroughfares; and
3. Any existing and proposed applicable Special Requirements, as described in Section 6.C below.

Unless prepared by or on behalf of the City, each Regulating Plan and each Regulating Plan amendment shall include a concept plan which generally describes and shows any Development, re-Development, land, construction, re-construction, modifications, Structures, Improvements, Buildings and Lots contemplated or to be proposed.

## C. Special Requirements.

A Regulating Plan may designate any of the Special Requirements listed in below. If a Regulating Plan designates any one or more of such Special Requirements, such designation indicates that the following standards shall be applied as follows:

1. A Shopfront Frontage designation, which requires that each Private Frontage within the designated area be provided a Shopfront Frontage at Sidewalk level, except at any allowed Driveways or **Street-screen** areas, as provided in **Table III.5.A (Private Frontage Types)** and specified in this Character-Based Code.
2. A Terminated Vista designation, which requires that a Building be provided with a cupola, chimney, entry feature or habitable tower that intersects the centerline axis of the view to which they respond.
3. A Cross Block Passage designation, which requires that a minimum 10-foot-wide pedestrian access be reserved between Buildings.

4. A Special Height Range designation, which that Buildings within the designated area comply with the Height noted rather than the Height standard that otherwise would be applicable within the Character District.

5. A Residential/Dwelling Use Restriction, which prohibits Uses categorized as Residential/Dwelling Uses within the ground floor of Buildings within the designated area, irrespective of whether Residential/Dwelling Use would otherwise be permitted within the applicable Character District.

6. A Residential/Dwelling Use Only designation, which requires that the only Principal Uses that are allowed within the designated area are Uses categorized as Residential/Dwelling in **Table III.7.A (Permitted Principal Uses)**, irrespective of whether other Principal Uses would otherwise be permitted within the applicable Character District.

7. A Retail Use Only designation, which requires that each Private Frontage within the designated area be provided a Shopfront Frontage at Sidewalk level, except at any allowed Driveways or Street-screen areas, as provided in **Table III.5.A (Private Frontage Types)** and that the ground level be available only for Retail Use.

8. A Scenic View Corridor designation, which requires that each Lot abutting the designated area maintains or increases the views to the water.

## SECTION 7 REGULATING PLAN AMENDMENT.

Each Regulating Plan in effect from time to time, may be amended by a zoning map amendment upon initiative of the City or upon application of the Owner of the parcel for which a zoning change is proposed.

# ARTICLE I: GENERAL

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## SECTION 8 DETERMINATION OF STANDARDS.

The Governing Body has established the standards in this Character-Based Code and, upon approval of a Regulating Plan for an area, will have made such standards applicable to such area.

## SECTION 9 APPLICATIONS.

### A. Regulating Plans & Amendments.

Applications for approval of a proposed Regulating Plan, a Regulating Plan amendment, or a Site Plan or Development Plan that would require or proposes any change in the Character District or Civic Zone designation of any property subject to this Character-Based Code shall necessitate processing, review, consideration and/or action with respect to such change in designation as a zoning map amendment under the **City Zoning Ordinance**.

### B. Site Plans and Development Plans.

No Development, re-Development, Improvement, subdivision, re-subdivision, construction, re-construction, or modification of or on any Building, Lot or other parcel of land subject to this Character-Based Code shall occur in the absence of an approved Site Plan evidencing compliance this Character-Based Code.

Any Site Plan or Development Plan required or filed under the **City Zoning Ordinance** shall include, in addition to all any other required items and information, the applicable items listed in Section I.12.B.

In addition to satisfaction of all other applicable Building Permit or Development Permit requirements, no such permit may be issued in the absence of a determination by the issuing authority that a Site Plan or Development

Plan complying with all applicable standards and requirements of this Character-Based Code, the applicable Regulating Plan, and any other applicable Site Plan or Development Plan has been approved by the applicable Decision-Making Authority.

## SECTION 10 PLANS.

### A. Plan Required.

Except for legal non-conformities, no Building shall be constructed, re-constructed, modified or exist, no Lot shall be Developed, Improved, subdivided, re-subdivided or exist, no land shall be Developed, and no Subdivision Plat shall be approved or Building Permit or Development Permit issued except in compliance with this Article I, the applicable approved Regulating Plan and pursuant to an approved Site Plan and/or Development Plan, as applicable, for such Building, Lot, and Development, as applicable, which has been prepared, submitted and approved in accordance with this Article I and all standards and requirements applicable thereto.

### B. Preparation and Requirements.

Each Regulating Plan, Site Plan or Development Plan, or any amendment thereof, for one or more proposed Buildings, Lots, and/or Development, as applicable, shall be prepared in accordance with, and shall conform to the requirements of this Article I, Article III, and the other applicable provisions of this Character-Based Code.

### C. Plan Submission.

Each Regulating Plan, Site Plan or Development Plan, or any amendment thereof, for one or more proposed Buildings, Lots, and/or Development, as applicable, shall be submitted for review and action in accordance with this Article I.

## D. Plan Approval.

Action shall be taken on an application for approval of a Regulating Plan, Site Plan or Development Plan, or any amendment thereof, for one or more proposed Buildings, Lots, and/or Development, as applicable, in accordance with this Article I, Article III, and other applicable provisions of this Character-Based Code.

## SECTION 11 PREPARATION.

Each Plan for one or more proposed Buildings, Lots, and/or Development, as applicable, required under this Article shall be prepared and submitted by or on behalf of the Owner of the applicable property.

## SECTION 12 PLAN REQUIREMENTS.

Each Site Plan and/or Development Plan submitted for any Building, Lot, and/or Development located or proposed within an area regulated under this Character-Based Code shall:

### A. Compliance.

Comply with the applicable approved Regulating Plan and any applicable approved Site Plan and/or Development Plan, as applicable, for such Building, Lot, and/or Development and all standards and requirements of this Character-Based Code applicable to the Character District or Civic Zone in which the land covered by such Site Plan and/or Development Plan is situated; and

### B. Contents.

Show and include, in addition to all other items required by the **City Zoning Ordinance**, the following, in compliance with the standards and requirements of any applicable approved Site Plan and/or Development Plan, the applicable Regulating Plan, and this Character-Based Code for the proposed Buildings, Lots, and/or Development, as applicable:

1. Lot Width
2. Lot Coverage
3. Layers
4. Frontage **Build-out**
5. Principal Buildings
6. Accessory Buildings, including the habitable area of each
7. Setbacks
8. Encroachments
9. Building Type
10. Building Height
11. Private Frontages
12. Facade and each other Building Elevation
13. Building Roof Type & Pitch
14. Principal Uses and Accessory Uses
15. Private Landscaping, including Walls and Fences
16. Private Lighting
17. Vehicular Parking Accommodations, including parking spaces within the Lot, Parking Location, Location of any Garage, Driveway to Off-Street Parking, Passenger Drop-off Location, Driveway/Vehicular Entrance Width, any Parking Structures, Pedestrian Parking Structure Exit Location, and any Parking Screening
18. Loading, Service, Storage, Trash Receptacle, Utility Box, Service Meter, and other equipment Accommodations and Locations
19. Personal property or fixtures not affixed to a Building, if any
20. Screens and Street-screens



# ARTICLE I: GENERAL

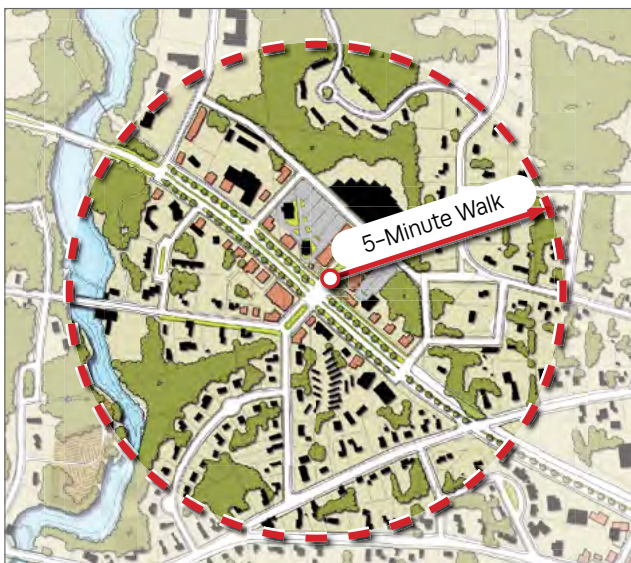
21. Signage

22. Any applicable Special Requirements elements

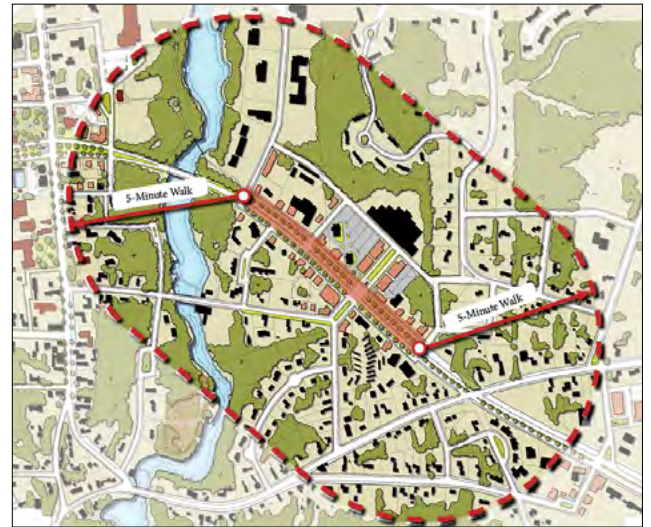
23. For any Development Site of **[10]** gross acres or more:

- a. Any required or proposed Civic Spaces, Civic Buildings and Civic Zones;
- b. Existing Character Districts and Civic Zones and any changes proposed or to be proposed, assigned according to and as required by Section II.2.A and Section II.2.B;
- c. Public Frontages, and each element thereof
- d. One or several proposed or existing Standard or Linear Pedestrian Sheds, as applicable, located according to existing or proposed conditions, such as traffic intersections, Adjacent Development, and natural features, and their respective Common Destinations near the center of each. See **Illustration I.12.B (Pedestrian Sheds)**;
- e. Public Landscaping and Public Lighting outside of Public Frontages.

## ILLUSTRATION I.12.B STANDARD PEDESTRIAN SHED



## ILLUSTRATION I.12.C LINEAR PEDESTRIAN SHED



24. For any Development Site of **[10]** gross acres or more, Thoroughfare network laid out according to Section III.14, complying with all applicable design standards, including existing and any proposed Thoroughfares, any required or proposed new Thoroughfare(s), and any required or proposed extension or change to any existing Thoroughfare(s)

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# ARTICLE II: CHARACTER DISTRICTS & CIVIC ZONES

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## SECTION 1 GENERAL.

### A. Applicability and Compliance.

This Article applies to Character Districts and Civic Zones to the extent provided herein.

Development, re-Development, land, Improvements, construction, re-construction, modification, subdivision, re-subdivision, Structures, Buildings and Lots within each Character District or Civic Zone, as applicable, shall include the respective elements and shall comply with the respective standards applicable to each.

### B. Character District Defined.

A Character District is one of several areas on a Regulating Plan, Site Plan, or Development Plan to which certain Development, Building, and Lot standards are applied.

### C. Civic Zone Defined.

A Civic Zone is an area on a Regulating Plan, Site Plan, or Development Plan designated for Civic Building(s) and/ or Civic Space(s).

## D. Character District Descriptions.

This Character-Based Code provides for the following Character Districts, each of which is described generally in **Table III.2.A (Character District Standards)**:

1. Character District CD-4 (General Urban);
2. Character District CD-5 (Urban Center); and
3. Character District CD-6 (Urban Core).

## SECTION 2 ASSIGNMENT OF CHARACTER DISTRICTS & CIVIC ZONES.

### A. General.

Character Districts and Civic Zones shall be assigned for and mapped on a Regulating Plan and any change to such assignment requires a Regulating Plan amendment.

### B. Assignment of Civic Zones for Certain Development Sites.

Civic Zones shall be assigned within Development Sites of [10] Gross Acres or more in accordance with Section III.13.

## ARTICLE II: CHARACTER DISTRICTS & CIVIC ZONES

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### SECTION 3 ELEMENTS AND STANDARDS.

Development, re-Development, land, Structures, Buildings, Improvements, and Lots within each Character District and Civic Zone shall include the elements indicated for such Character District or Civic Zone throughout this Character-Based Code and shall comply with the applicable Character District or Civic Zone general description and intent thereof and the standards applicable to such Character District or Civic Zone set forth in **Table III.2.A (Character District Standards)** or **Table III.2.B (Civic Zone Standards)** and elsewhere in this Character-Based Code.



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# ARTICLE III: STANDARDS & REQUIREMENTS

---

## SECTION 1 GENERAL.

Development, re-Development, Lots, Buildings, Structures, and Improvements within Character Districts and Civic Zones, respectively, shall comply with the applicable standards and requirements referred to in Section III.2.A and Section III.2.B.

Exceptions:

1. Existing Buildings that contribute to the cultural heritage of the City through unique or historical architectural elements, at the discretion of the Zoning Administrator, may be permitted to complete repairs critical to the maintenance or stabilization of the Building without demonstrating compliance with the elements and standards of this Article. The extent of work to be performed shall be limited to only that deemed necessary to stabilize or maintain habitable conditions.
2. Repairs and routine maintenance to existing Buildings that do not change the overall exterior appearance of the Building, do not further non-conforming conditions, and do not increase the Building footprint or use intensity may be completed without coming into compliance with this Article.

## SECTION 2 CHARACTER DISTRICTS & CIVIC ZONES.

### A. Character Districts.

Character Districts standards are set forth in **Table III.2.A (Character District Standards)** and elsewhere in this Article III.

### B. Civic Zones.

1. Civic Zone standards are set forth in **Table III.2.B (Civic Zone Standards)**.
2. Within an area designated on the applicable Regulating Plan, or on an approved or proposed Site Plan or Development Plan as Civic Zone (CZ), Civic Space (CS) or Civic Building (CB):
  - a. Civic Space shall be designed generally as described in **Table III.13.C.1 (Civic Space Types - Summary)**, and **Table III.13.C.2 (Civic Space - Specific Standards)**, as related to the Abutting Character District, or if Abutting more than one, as related to the Abutting Character District with the largest number of linear feet of common boundary with the Civic Space;
  - b. Without limitation to Section III.2.B.1 or B.2, Civic Buildings within Civic Zones shall comply with the standards and requirements of **Table III.2.B (Civic Zone Standards)** and any other requirements as may be determined by the Governing Body;
  - c. Buildings operated for Civic purposes but not located within a Civic Zone must comply with the applicable Character District standards of the Character District in which they are situated.

# ARTICLE III: STANDARDS & REQUIREMENTS

**CD-4**

**TABLE III.2.A CHARACTER DISTRICT STANDARDS:  
GENERAL URBAN CHARACTER DISTRICT**



## General Description

The CD-4 General Urban District consists of a medium intensity area that has a mix of Building types and residential, retail, office and other commercial Uses; there are medium, shallow or no front Setbacks and narrow to medium side Setbacks; it has variable private landscaping; and it has streets with Curbs, sidewalks, and Thoroughfare trees that define medium-sized blocks.

# ARTICLE III: STANDARDS & REQUIREMENTS

## CD-4 TABLE III.2.A CHARACTER DISTRICT STANDARDS: GENERAL URBAN CHARACTER DISTRICT

### Private Frontage Types

Common Yard	P	Stoop	P
Fence	P	Gallery	P
Terrace/Lightwell	P	Arcade	NP
Forecourt	P	Dooryard	P
Shopfront	P	Commercial front	P

See **Table III.5.A (Private Frontage Types)**

### Civic Space Types

Park	P	Playground	P
Green	P	Sport Field	NP
Square	P	Community Garden	P
Plaza	P	Pocket Park	P

See **Table III.13.C.1 (Civic Space Types – Summary)** and **Table III.13.C.2 (Civic Space – Specific Standards)**

### Permitted Uses

See **Table III.7.A (Permitted Principal Uses)**

### Number of Buildings

Principal Building	1 max
Accessory Buildings	2 max

#### LEGEND

The following notations are utilized in this table.

**P** Permitted

**NP** Not Permitted

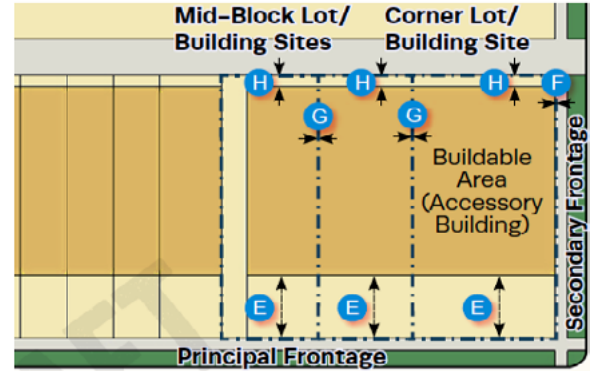
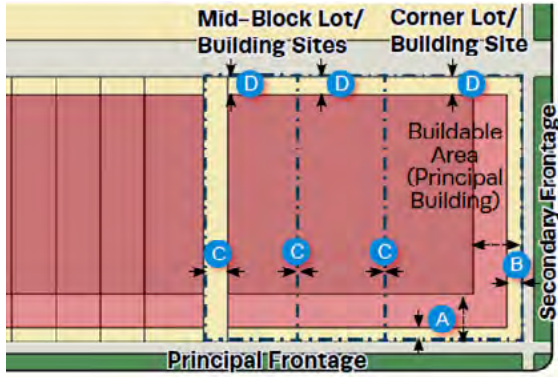
**NA** Not Applicable

**R** Required

**NR** Not Regulated

# ARTICLE III: STANDARDS & REQUIREMENTS

## CD-4 TABLE III.2.A CHARACTER DISTRICT STANDARDS: GENERAL URBAN CHARACTER DISTRICT



### Lot Configuration

Lot Width	25 ft. min; 100 ft. max
Lot Coverage	80% max
Lot Enfrontment	Must enfront a vehicular Thoroughfare, except that if Lots have legal and physical access to a vehicular Thoroughfare via a Driveway or Easement, (a) such Lots may Enfront a Civic Space and (b) ≤ 20% of the Lots within each Character District of a Development Site may Enfront a Pedestrian Path or a Passage.

### Setbacks

Principal Building		Accessory Building	
Front Setback, Principal Frontage	0 ft. min, 15 ft. max <b>A</b>	Front Setback, Principal Frontage	20 ft. min. + Principal Building Front Setback <b>E</b>
Front Setback, Secondary Frontage	5 ft. min, 15 ft. max <b>B</b>	Front Setback, Secondary Frontage	20 ft. min. + Principal Building Front Setback <b>F</b>
Side Setback, each side	0 ft. min per side <b>C</b>	Side Setback, each side	3 ft. min per side <b>G</b>
Rear Setback	3 ft. min <b>D</b>	Rear Setback	3 ft. min <b>H</b>

<b>LEGEND</b> The following notations are utilized in this table.	<b>P</b> Permitted	<b>NP</b> Not Permitted	<b>NA</b> Not Applicable	<b>R</b> Required	<b>NR</b> Not Regulated
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# ARTICLE III: STANDARDS & REQUIREMENTS

**CD-4** TABLE III.2.A CHARACTER DISTRICT STANDARDS:  
GENERAL URBAN CHARACTER DISTRICT

## Encroachments – Required Setbacks

Encroachment Type	Front	Side	Rear
Steps to Building Entrance	P up to 50% of Setback	P	P
Open Porches, including steps	P up to 50% of Setback	P	P
Patio Decks, if permitted in applicable Layer	NP	P	P
Openwork Fire Balconies	NP	P	P
Chimney flues, sills, belt courses, cornices, buttresses eaves and other Architectural Features	P	P	P
Satellite dishes/ antennae	P	P	P
Mechanical equipment, including HVAC	NP	P	P
Utility lines, wires and associated structures (e.g. poles)	P	P	P
Fences, hedges, walls, Shrubbery, and other landscape features	P	P	P
Parking Areas, Loading Areas and Driveways in 3rd Layer	NP	P	P
Stoops, Lightwells, Terraces	P up to 50% of Setback	P	P
Balconies and Bay Windows	P	P	P

## Building Standards

### Building Height

**Principal Building** 3 stories max, 2 stories min

**Accessory Building** 2 stories max

\*Stories do not include Attics and basements

### Ceiling Height

Height may not exceed 14 ft. in height from finished floor to finished ceiling, except for a first floor Commercial function which must be a minimum of 11 ft with a maximum of 25 ft.

### Facade

**Frontage Buildout** 60% min

**Entrances/Active Functions** Main Entrance must be in Facade of Principal Frontages. If Shopfront Frontage at corner, Main Entrance may be at Principal Frontage or at corner.

<b>LEGEND</b> The following notations are utilized in this table.	<b>P</b> Permitted	<b>NP</b> Not Permitted	<b>NA</b> Not Applicable	<b>R</b> Required	<b>NR</b> Not Regulated
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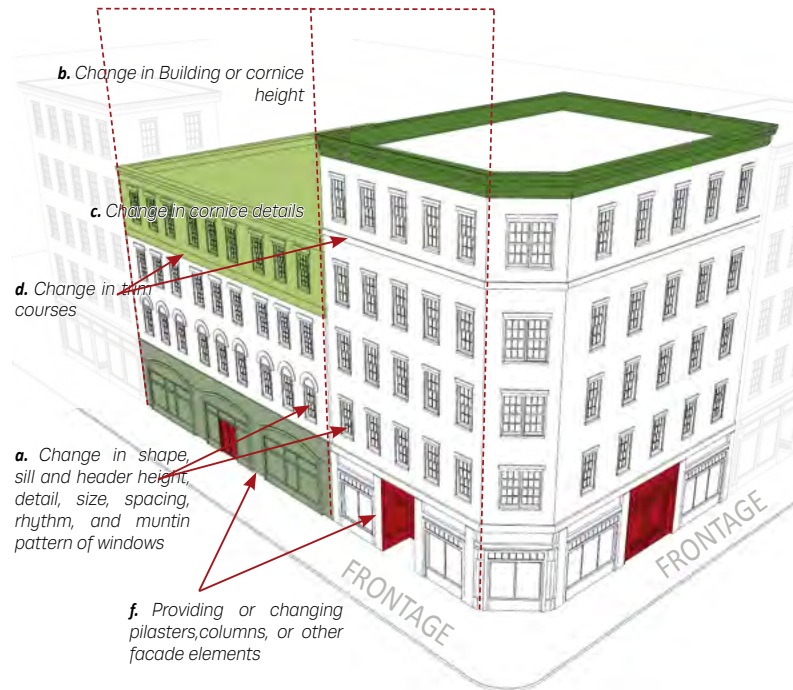


# ARTICLE III: STANDARDS & REQUIREMENTS

## CD-4 TABLE III.2.A CHARACTER DISTRICT STANDARDS: GENERAL URBAN CHARACTER DISTRICT

### Building Standards (continued)

Location of Building at Frontage	Parallel to Frontage Lines
Facade Position	Parallel to straight Frontage Line or to tangent of curved Frontage Line
Blank Walls	<b>NP</b> at Frontage
Facade Openings	Windows and/or doors spaced $\leq 20$ ft. apart Square or vertical in proportion Except in Shopfront or Gallery Frontage, Windows in Facade and 1st & 2nd Layers must be single-hung, double-hung, casement or awning types. In Stories above first, Facade openings must be $\leq 50\%$ of total facade area
Facade Glazing	20% min – 70% max for non-Shopfront; 70% min for Shopfront of total facade area
Window Alignment	Upper floor windows and other features must be aligned with those of first floor.
Facade Articulation	Facade greater than 100 ft. in width must be differentiated so that it appears to be comprised of two or more Adjacent Buildings, by dividing such Facade into two segments each of which includes a separate entrance and (1) differs from each of the other segments with respect to all of the following: (a) a change in shape, sill, and header height, detail, size, spacing, rhythm, and muntin pattern of windows; (b) a change of Building or cornice height; (c) a change in cornice details; (d) a change of wall material or wall color; a change in trim courses and other horizontal elements; (e) a change in dormer or balcony design, if any, and (f) providing or changing pilasters, columns, or other Facade elements; and (2) is composed with a defined center and edges



<b>LEGEND</b> The following notations are utilized in this table.	<b>P</b> Permitted	<b>NP</b> Not Permitted	<b>NA</b> Not Applicable	<b>R</b> Required	<b>NR</b> Not Regulated

# ARTICLE III: STANDARDS & REQUIREMENTS

## CD-4 TABLE III.2.A CHARACTER DISTRICT STANDARDS: GENERAL URBAN CHARACTER DISTRICT

### Building Standards (continued)

Finished Floor Level	If Residential: 2 ft.-6 ft. above avg. grade at Frontage Line
Facade Window Sill Height	If Residential: 3 ft. min above avg. grade at Frontage Line Shopfront Frontages: at knee wall
Shopfront Frontages	12"-24" knee wall required at Frontage
Decks	<b>NP</b> at Frontage

### Roof Type & Roof Pitch

Flat	<b>P</b>
Shed	<b>P</b> at rear only and if ridge is attached to an exterior Building wall
Hip	<b>P</b>
Gable	<b>P</b>
Pitch, if any	8:12 - 14:12, except for shed roofs which may be 3:12 - 14:12

### Building Types

House	<b>P</b>	Live/Work	<b>P</b>
Duplex	<b>P</b>	Mixed Use	<b>P</b>
Triplex, Fourplex	<b>P</b>	Flex	<b>P</b>
Townhouse	<b>P</b>	Mid-Rise	<b>NP</b>
Small Multifamily	<b>P</b>	High-Rise	<b>NP</b>
Large Multifamily	<b>P</b>	Civic	<b>P</b>

See **Table III.5.G.1 (Principal Building Types – Summary)** and **Table III.5.G.2 (Principal Building Types – Specific Standards)**

#### LEGEND

The following notations are utilized in this table.

**P** Permitted

**NP** Not Permitted

**NA** Not Applicable

**R** Required

**NR** Not Regulated

# ARTICLE III: STANDARDS & REQUIREMENTS

## CD-4 TABLE III.2.A CHARACTER DISTRICT STANDARDS: GENERAL URBAN CHARACTER DISTRICT

### Vehicular Parking Requirements

Required Vehicular Parking	See Section III.8
Off-Street Parking Location	<b>P</b> in 3rd Layer only; <b>NP</b> in 1st Layer
Garage Location	<b>P</b> in 3rd Layer only; <b>NP</b> in 1st Layer
Driveway to Off-Street Parking & Passenger Drop-off Location	<b>P</b> in any Layer
Driveway/Vehicular Entrance Maximum Width	10 ft max in 1st Layer if Residential; 24 ft max in 1st Layer if non-Residential
Parking Structures	<b>P</b> subject to requirements of Section III.8
Parking Structure Pedestrian Exit Location	Via pedestrian access to Frontage

### Off-Street Loading, Storage, Trash Receptacle, Utility Box & Service Meter Requirements

Off-Street Loading Space	<b>R</b> sufficient space, with adequate off-street maneuvering area, to accommodate max # of trucks loading, unloading, or standing at any one time for all Principal Uses of Lot; not to encroach on any required Parking
Off-Street Trash Receptacle	Except for single family residential, <b>R</b> fully enclosed on 3 sides and enclosed on the 4th side with self-closing gate. In single family residential, <b>P</b> in 3rd Layer only
Off-Street Loading, Trash Receptacle, Utility Box & Service Meter Locations	<b>P</b> in 3rd Layer only; <b>NP</b> in 1st Layer

### Non-Building Components

	1st Layer	2nd Layer	3rd Layer
Clothes Drying Apparatus	<b>NP</b>	<b>NP</b>	<b>NP</b>
Heating and Air Conditioning Equipment, Utility, Service and Mechanical Equipment	<b>NP</b>	<b>P</b> in 2nd Layer if Screened from Frontage	<b>P</b>
Solar Panels	<b>P</b> in 1st or 2nd Layer if parallel to and integrated into roof design.		<b>P</b>
Antennas & Satellite Equipment less than or equal to 18" in diameter	<b>P</b> in 1st or 2nd Layer if such Layer is only location possible for satisfactory reception, as set forth by the FCC.		<b>P</b>
Outdoor Grilling Equipment	<b>NP</b>	<b>NP</b>	<b>P</b>
Recreation or Play Equipment	<b>NP</b>	<b>NP</b>	<b>P</b>
Animal Enclosures or Shelters	<b>NP</b>	<b>NP</b>	<b>P</b>
Swimming Pools, Hot Tubs and Spas	<b>NP</b>	<b>NP</b>	<b>P</b>

<b>LEGEND</b> The following notations are utilized in this table.	<b>P</b> Permitted	<b>NP</b> Not Permitted	<b>NA</b> Not Applicable	<b>R</b> Required	<b>NR</b> Not Regulated
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# ARTICLE III: STANDARDS & REQUIREMENTS

## CD-4 TABLE III.2.A CHARACTER DISTRICT STANDARDS: GENERAL URBAN CHARACTER DISTRICT

### Private Landscaping and Fencing

#### Landscaping

**R** 2 trees per 50 feet of Frontage if front Setback  $\geq$  15 ft, planted in 1st Layer, minimum of 30% of 1st Layer must be landscaped

#### Walls & Fencing (not including Screens)

Height	3.5–4 ft. at Frontage; otherwise 6 ft. max; height measured from avg. undisturbed grade of Adjacent property at property line
Construction	Finished side must face Adjacent property, Thoroughfare, Path, Passage or Waterbody
Maintenance	Must be well-maintained, in upright condition and free of missing or broken parts.

#### Allowed Materials

Natural Wood	<b>P</b> Only picket type allowed at Frontage; other types allowed on sides and rear	Chain Link	<b>P</b> at rear and sides only
Brick, Natural Stone or Stucco over Masonry	<b>P</b>	Exposed or painted aggregate concrete	<b>NP</b>
Wrought Iron or Aluminum	<b>P</b>	Smooth or split-faced block	<b>NP</b>
Vinyl	<b>NP</b>		

### Lighting Zone

Lighting Zone-2 (LZ-2)

<b>LEGEND</b> The following notations are utilized in this table.	<b>P</b> Permitted	<b>NP</b> Not Permitted	<b>NA</b> Not Applicable	<b>R</b> Required	<b>NR</b> Not Regulated
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# ARTICLE III: STANDARDS & REQUIREMENTS

**CD-4** TABLE III.2.A CHARACTER DISTRICT STANDARDS:  
GENERAL URBAN CHARACTER DISTRICT

Screens & Streetscreens		
Height		
	At Frontage or Adjacent to Civic Space	Not at Frontage or Adjacent to Civic Space
Wall Screen/Streetscreen Height	3.5 ft. to 4 ft.	5ft. to 6ft; Min 6ft. for Dumpsters and trash receptacles
Fence Screen/Streetscreen Height	3.5 ft. to 4 ft.	5ft. to 6ft; Min 6ft. for Dumpsters and trash receptacles
Hedge Screen/Streetscreen Height	3.5 ft. to 4 ft. at installation	5 ft. to 6ft. at installation
Materials		
Wall Screen or Streetscreen	Brick, natural Stone or Stucco over Masonry	
Fence Screen or Streetscreen	Natural Wood, painted or unpainted	
Hedge Screen or Streetscreen	Evergreen plants with min. 80% opacity	
Additional Standards		
Non-Residential & Multi-Family Residential Screen /Streetscreen Adjacent to or across Thoroughfare from Non-Multi-Family Residential	NR	
Screening of Parking, Loading Areas, Service Areas, Outdoor Storage, Trash Receptacles/ Dumpsters, HVAC and other equipment Screened from Frontage, Civic Space and Adjacent Property	R ; except at Driveways. Parking Lots and Parking Areas must be Screened from Frontage and Civic Space by Building or Streetscreen; or by Building, Wall, hedge or fence not at Frontages or Adjacent to Civic Space.	
Rooftop Antenna Screening	R	
HVAC, Mechanical and other Equipment Screening	R ; must be Screened from Frontage and Civic Space by Building parapet or other Building Element	
Streetscreen Location	2nd Layer	

<b>LEGEND</b> The following notations are utilized in this table.	<b>P</b> Permitted	<b>NP</b> Not Permitted	<b>NA</b> Not Applicable	<b>R</b> Required	<b>NR</b> Not Regulated

# ARTICLE III: STANDARDS & REQUIREMENTS

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**CD-4**

**TABLE III.2.A CHARACTER DISTRICT STANDARDS:  
GENERAL URBAN CHARACTER DISTRICT**

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ARTICLE III

# ARTICLE III: STANDARDS & REQUIREMENTS

## **CD-5** TABLE III.2.A CHARACTER DISTRICT STANDARDS: URBAN CENTER CHARACTER DISTRICT



### General Description

The CD-5 Urban Center District consists of higher intensity mixed use areas. It has a tight network of Thoroughfares with wide sidewalks and regular Thoroughfare tree spacing, defining medium-sized blocks. Buildings are set close to the sidewalks.

# ARTICLE III: STANDARDS & REQUIREMENTS

## CD-5 TABLE III.2.A CHARACTER DISTRICT STANDARDS: URBAN CENTER CHARACTER DISTRICT

### Private Frontage Types

Common Yard	NP	Stoop	P
Fence	NP	Gallery	P
Terrace/Lightwell	P	Arcade	P
Forecourt	P	Dooryard	P
Shopfront	P	Commercial front	P

See **Table III.5.A (Private Frontage Types)**

### Civic Space Types

Park	NP	Playground	P
Green	P	Sport Field	NP
Square	P	Community Garden	P
Plaza	P	Pocket Park	P

See **Table III.13.C.1 (Civic Space Types – Summary)** and **Table III.13.C.2 (Civic Space – Specific Standards)**

### Permitted Uses

See **Table III.7.A (Permitted Principal Uses)**

### Number of Buildings

Principal Building	1 max
Accessory Buildings	2 max

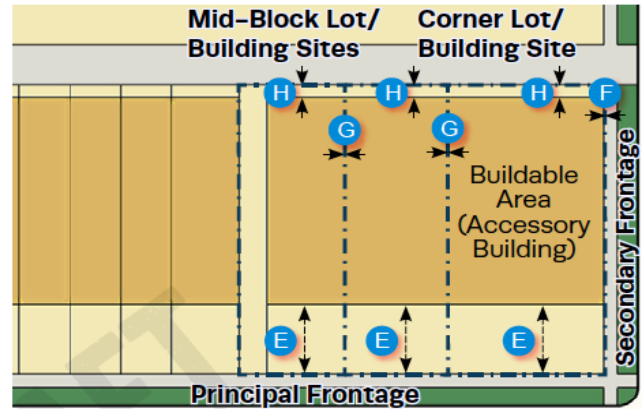
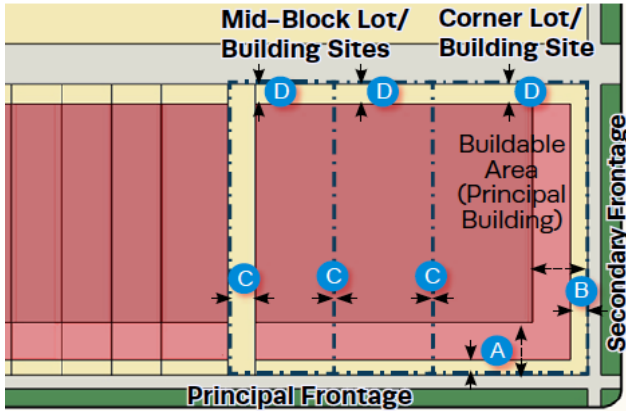
#### LEGEND

The following notations are utilized in this table.

<b>P</b> Permitted	<b>NP</b> Not Permitted	<b>NA</b> Not Applicable	<b>R</b> Required	<b>NR</b> Not Regulated
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# ARTICLE III: STANDARDS & REQUIREMENTS

**CD-5** TABLE III.2.A CHARACTER DISTRICT STANDARDS:  
URBAN CENTER CHARACTER DISTRICT



## Lot Occupation

Lot Width	25 ft. min; 100 ft. max
Lot Coverage	95% max
Lot Enfrontment	Must enfront a vehicular Thoroughfare, except that if Lots have legal and physical access to a vehicular Thoroughfare via a Driveway or Easement, (a) such Lots may Enfront a Civic Space and (b) ≤ 20% of the Lots within each Character District of a Development Site may Enfront a Pedestrian Path or a Passage.

## Setbacks

Principal Building			Accessory Building		
Front Setback, Principal Frontage	0 ft. min, 7 ft. max	<b>A</b>	Front Setback, Principal Frontage	20 ft. min. + Principal Building Front Setback	<b>E</b>
Front Setback, Secondary Frontage	0 ft. min, 10 ft. max	<b>B</b>	Front Setback, Secondary Frontage	20 ft. min. + Principal Building Front Setback	<b>F</b>
Side Setback, each side	0 ft. min per side	<b>C</b>	Side Setback, each side	0 ft. min per side	<b>G</b>
Rear Setback	0 ft. min	<b>D</b>	Rear Setback	0 ft. min	<b>H</b>

<b>LEGEND</b> The following notations are utilized in this table.	<b>P</b> Permitted	<b>NP</b> Not Permitted	<b>NA</b> Not Applicable	<b>R</b> Required	<b>NR</b> Not Regulated
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# ARTICLE III: STANDARDS & REQUIREMENTS

**CD-5** TABLE III.2.A CHARACTER DISTRICT STANDARDS:  
URBAN CENTER CHARACTER DISTRICT

## Encroachments – Required Setbacks

Encroachment Type	Front	Side	Rear
Steps to Building Entrance	<b>P</b> up to 50% of Setback	<b>P</b>	<b>P</b>
Open Porches, including steps	<b>P</b> up to 50% of Setback	<b>P</b>	<b>P</b>
Patio Decks, if permitted in applicable Layer	<b>NP</b>	<b>P</b>	<b>P</b>
Openwork Fire Balconies	<b>NP</b>	<b>P</b>	<b>P</b>
Chimney flues, sills, belt courses, cornices, buttresses eaves and other Architectural Features	<b>P</b>	<b>P</b>	<b>P</b>
Satellite dishes/ antennae	<b>P</b>	<b>P</b>	<b>P</b>
Mechanical equipment, including HVAC	<b>NP</b>	<b>P</b>	<b>P</b>
Utility lines, wires and associated structures (e.g. poles)	<b>P</b>	<b>P</b>	<b>P</b>
Fences, hedges, walls, Shrubbery, and other landscape features	<b>P</b>	<b>P</b>	<b>P</b>
Parking Areas, Loading Areas and Driveways in 3rd Layer	<b>NP</b>	<b>P</b>	<b>P</b>
Stoops, Lightwells, Terraces	<b>P</b> up to 50% of Setback	<b>P</b>	<b>P</b>
Balconies and Bay Windows	<b>P</b>	<b>P</b>	<b>P</b>

## Building Standards

### Building Height

**Principal Building** 8 stories max, 2 stories min

**Accessory Building** 2 stories max

\*Stories do not include Attics and basements

### Ceiling Height

Height may not exceed 14 ft. in height from finished floor to finished ceiling, except for a first floor Commercial function which must be a minimum of 11 ft with a maximum of 25 ft.

### Facade

**Frontage Buildout** 75% min

**Entrances/Active Functions** Main Entrance must be in Facade of Principal Frontages. If Shopfront Frontage at corner, Main Entrance may be at Principal Frontage or at corner.

<b>LEGEND</b> The following notations are utilized in this table.	<b>P</b> Permitted	<b>NP</b> Not Permitted	<b>NA</b> Not Applicable	<b>R</b> Required	<b>NR</b> Not Regulated
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# ARTICLE III: STANDARDS & REQUIREMENTS

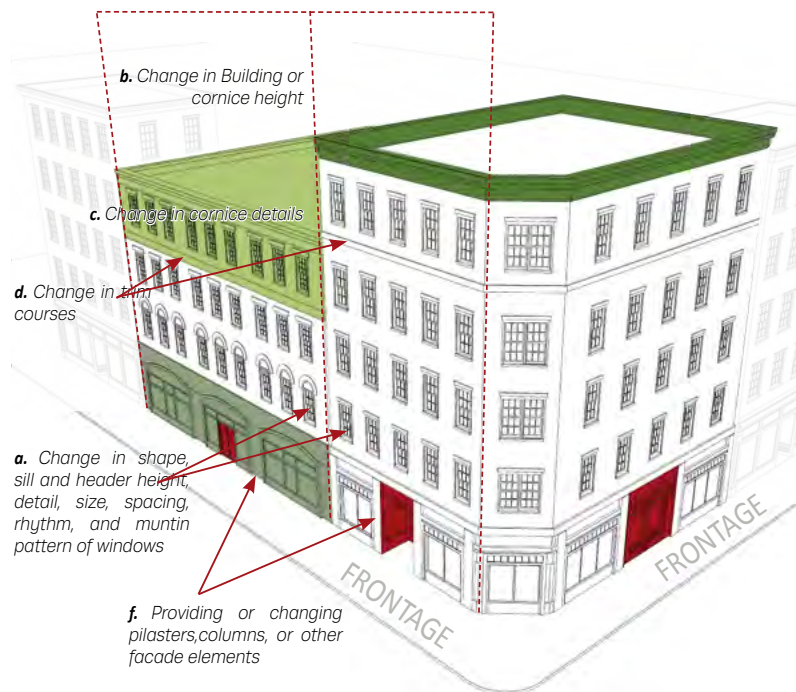
## CD-5 TABLE III.2.A CHARACTER DISTRICT STANDARDS: URBAN CENTER CHARACTER DISTRICT

### Building Standards (continued)

Location of Building at Frontage	Parallel to Frontage Lines
Facade Position	Parallel to straight Frontage Line or to tangent of curved Frontage Line
Blank Walls	<b>NP</b> at Frontage
Facade Openings	Windows and/or doors spaced $\leq 20$ ft. apart Square or vertical in proportion Except in Shopfront or Gallery Frontage, Windows in Facade and 1st & 2nd Layers must be single-hung, double-hung, casement or awning types. In Stories above first, Facade openings must be $\leq 50\%$ of total facade area
Facade Glazing	20% min – 70% max for non-Shopfront; 70% min for Shopfront of total facade area
Window Alignment	Upper floor windows and other features must be aligned with those of first floor.

Facade greater than 100 ft. in width must be differentiated so that it appears to be comprised of two or more Adjacent Buildings, by dividing such Facade into two segments each of which includes a separate entrance and (1) differs from each of the other segments with respect to all of the following: (a) a change in shape, sill, and header height, detail, size, spacing, rhythm, and muntin pattern of windows; (b) a change of Building or cornice height; (c) a change in cornice details; (d) a change of wall material or wall color; a change in trim courses and other horizontal elements; (e) a change in dormer or balcony design, if any, and (f) providing or changing pilasters, columns, or other Facade elements; and (2) is composed with a defined center and edges

#### Facade Articulation



<b>LEGEND</b> The following notations are utilized in this table.	<b>P</b> Permitted	<b>NP</b> Not Permitted	<b>NA</b> Not Applicable	<b>R</b> Required	<b>NR</b> Not Regulated
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# ARTICLE III: STANDARDS & REQUIREMENTS

## CD-5 TABLE III.2.A CHARACTER DISTRICT STANDARDS: URBAN CENTER CHARACTER DISTRICT

### Building Standards (continued)

Finished Floor Level	If Residential: 2 ft.–6 ft. above avg. grade at Frontage Line
Facade Window Sill Height	If Residential: 3 ft. min above avg. grade at Frontage Line Shopfront Frontages: at knee wall
Shopfront Frontages	12"–24" knee wall required at Frontage
Decks	<b>NP</b> at Frontage
<b>Roof Type &amp; Roof Pitch</b>	
Flat	<b>P</b>
Shed	<b>P</b> at rear only and if ridge is attached to an exterior Building wall
Hip	<b>P</b>
Gable	<b>P</b>
Pitch, if any	8:12 – 14:12, except for shed roofs which may be 3:12 – 14:12

### Building Types

House	<b>NP</b>	Live/Work	<b>P</b>
Duplex	<b>NP</b>	Mixed Use	<b>P</b>
Triplex, Fourplex	<b>P</b>	Flex	<b>P</b>
Townhouse	<b>P</b>	Mid-Rise	<b>P</b>
Small Multifamily	<b>P</b>	High-Rise	<b>NP</b>
Large Multifamily	<b>P</b>	Civic	<b>P</b>

See [Table III.5.G.1 \(Principal Building Types – Summary\)](#) and [Table III.5.G.2 \(Principal Building Types – Specific Standards\)](#)

<b>LEGEND</b> The following notations are utilized in this table.	<b>P</b> Permitted	<b>NP</b> Not Permitted	<b>NA</b> Not Applicable	<b>R</b> Required	<b>NR</b> Not Regulated
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# ARTICLE III: STANDARDS & REQUIREMENTS

**CD-5** TABLE III.2.A CHARACTER DISTRICT STANDARDS:  
URBAN CENTER CHARACTER DISTRICT

## Vehicular Parking Requirements

Required Vehicular Parking	See Section III.8
Off-Street Parking Location	<b>P</b> in 3rd Layer only; <b>NP</b> in 1st Layer
Garage Location	<b>P</b> in 3rd Layer only; <b>NP</b> in 1st Layer
Driveway to Off-Street Parking & Passenger Drop-off Location	<b>P</b> in any Layer
Driveway/Vehicular Entrance Maximum Width	10 ft max in 1st Layer if Residential; 24 ft max in 1st Layer if non-Residential
Parking Structures	<b>P</b>
Parking Structure Pedestrian Exit Location	Via pedestrian access to Frontage

## Off-Street Loading, Storage, Trash Receptacle, Utility Box & Service Meter Requirements

Off-Street Loading Space	<b>R</b> sufficient space, with adequate off-street maneuvering area, to accommodate max # of trucks loading, unloading, or standing at any one time for all Principal Uses of Lot; not to encroach on any required Parking
Off-Street Trash Receptacle	Except for single family residential, <b>R</b> fully enclosed on 3 sides and enclosed on the 4th side with self-closing gate. In single family residential, <b>P</b> in 3rd Layer only
Off-Street Loading, Trash Receptacle, Utility Box & Service Meter Locations	<b>P</b> in 3rd Layer only; <b>NP</b> in 1st Layer

## Non-Building Components

	1st Layer	2nd Layer	3rd Layer
Clothes Drying Apparatus	<b>NP</b>	<b>NP</b>	<b>NP</b>
Heating and Air Conditioning Equipment, Utility, Service and Mechanical Equipment	<b>NP</b>	<b>P</b> in 2nd Layer if Screened from Frontage	<b>P</b>
Solar Panels	<b>P</b> in 1st or 2nd Layer if parallel to and integrated into roof design.		<b>P</b>
Antennas & Satellite Equipment less than or equal to 18" in diameter	<b>P</b> in 1st or 2nd Layer if such Layer is only location possible for satisfactory reception, as set forth by the FCC.		<b>P</b>
Outdoor Grilling Equipment	<b>NP</b>	<b>NP</b>	<b>P</b>
Recreation or Play Equipment	<b>NP</b>	<b>NP</b>	<b>P</b>
Animal Enclosures or Shelters	<b>NP</b>	<b>NP</b>	<b>P</b>
Swimming Pools, Hot Tubs and Spas	<b>NP</b>	<b>NP</b>	<b>P</b>

<b>LEGEND</b> The following notations are utilized in this table.	<b>P</b> Permitted	<b>NP</b> Not Permitted	<b>NA</b> Not Applicable	<b>R</b> Required	<b>NR</b> Not Regulated
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# ARTICLE III: STANDARDS & REQUIREMENTS

## CD-5 TABLE III.2.A CHARACTER DISTRICT STANDARDS: URBAN CENTER CHARACTER DISTRICT

### Private Landscaping and Fencing

#### Landscaping

**R** 2 trees per 50 feet of Frontage if front Setback  $\geq$  15 ft, planted in 1st Layer, minimum of 30% of 1st Layer must be landscaped

#### Walls & Fencing (not including Screens)

<b>Height</b>	3.5–4 ft. at Frontage; otherwise 6 ft. max; height measured from avg. undisturbed grade of Adjacent property at property line
<b>Construction</b>	Finished side must face Adjacent property, Thoroughfare, Path, Passage or Waterbody
<b>Maintenance</b>	Must be well-maintained, in upright condition and free of missing or broken parts.

#### Allowed Materials

Natural Wood	<b>P</b> Only picket type allowed at Frontage; other types allowed on sides and rear	Chain Link	<b>P</b> at rear and sides only
Brick, Natural Stone or Stucco over Masonry	<b>P</b>	Exposed or painted aggregate concrete	<b>NP</b>
Wrought Iron or Aluminum	<b>NP</b>	Smooth or split-faced block	<b>NP</b>
Vinyl	<b>NP</b>		

### Lighting Zone

Lighting Zone-2 (LZ-2)

<b>LEGEND</b> The following notations are utilized in this table.	<b>P</b> Permitted	<b>NP</b> Not Permitted	<b>NA</b> Not Applicable	<b>R</b> Required	<b>NR</b> Not Regulated
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# ARTICLE III: STANDARDS & REQUIREMENTS

## CD-5 TABLE III.2.A CHARACTER DISTRICT STANDARDS: URBAN CENTER CHARACTER DISTRICT

Screens & Streetscreens		
Height		
	At Frontage or Adjacent to Civic Space	Not at Frontage or Adjacent to Civic Space
Wall Screen/Streetscreen Height	3.5ft. to 4 ft.	5ft. to 6ft; Min 6ft. for Dumpsters and trash receptacles
Fence Screen/Streetscreen Height	3.5ft. to 4 ft.	5ft. to 6ft; Min 6ft. for Dumpsters and trash receptacles
Hedge Screen/Streetscreen Height	3.5ft. to 4 ft. at installation	5 ft. to 6ft. at installation
Materials		
Wall Screen or Streetscreen	Brick, natural Stone or Stucco over Masonry	
Fence Screen or Streetscreen	Natural Wood, painted or unpainted	
Hedge Screen or Streetscreen	Evergreen plants with min. 80% opacity	
Additional Standards		
Non-Residential & Multi-Family Residential Screen /Streetscreen Adjacent to or across Thoroughfare from Non-Multi-Family Residential	NR	
Screening of Parking, Loading Areas, Service Areas, Outdoor Storage, Trash Receptacles/ Dumpsters, HVAC and other equipment Screened from Frontage, Civic Space and Adjacent Property	R ; except at Driveways. Parking Lots and Parking Areas must be Screened from Frontage and Civic Space by Building or Streetscreen; or by Building, Wall, hedge or fence not at Frontages or Adjacent to Civic Space.	
Rooftop Antenna Screening	R	
HVAC, Mechanical and other Equipment Screening	R ; must be Screened from Frontage and Civic Space by Building parapet or other Building Element	
Self-Service Storage Facility Screening	NA	
Streetscreen Location	2nd Layer	

<b>LEGEND</b> The following notations are utilized in this table.	<b>P</b> Permitted	<b>NP</b> Not Permitted	<b>NA</b> Not Applicable	<b>R</b> Required	<b>NR</b> Not Regulated
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# ARTICLE III: STANDARDS & REQUIREMENTS

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**CD-5**

**TABLE III.2.A CHARACTER DISTRICT STANDARDS:  
URBAN CENTER CHARACTER DISTRICT**

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ARTICLE III

# ARTICLE III: STANDARDS & REQUIREMENTS

## CD-6 TABLE III.2.A CHARACTER DISTRICT STANDARDS: URBAN CORE CHARACTER DISTRICT



### General Description

This District is the highest intensity area and features predominantly attached Buildings forming a continuous street wall and accommodating Mixed Uses, as well as entertainment, civic and cultural Uses. Thoroughfares have wide sidewalks and steady Thoroughfare tree planting. Buildings are set at close to the sidewalk.

# ARTICLE III: STANDARDS & REQUIREMENTS

## CD-6 TABLE III.2.A CHARACTER DISTRICT STANDARDS: URBAN CORE CHARACTER DISTRICT

### Private Frontage Types

Common Yard	NP	Stoop	P
Fence	NP	Gallery	P
Terrace/Lightwell	NP	Arcade	P
Forecourt	NP	Dooryard	NP
Shopfront	P	Commercial front	P

See **Table III.5.A (Private Frontage Types)**

### Civic Space Types

Park	NP	Playground	P
Green	NP	Sport Field	NP
Square	P	Community Garden	P
Plaza	P	Pocket Park	P

See **Table III.13.C.1 (Civic Space Types – Summary)** and **Table III.13.C.2 (Civic Space – Specific Standards)**

### Permitted Uses

See **Table III.7.A (Permitted Principal Uses)**

### Number of Buildings

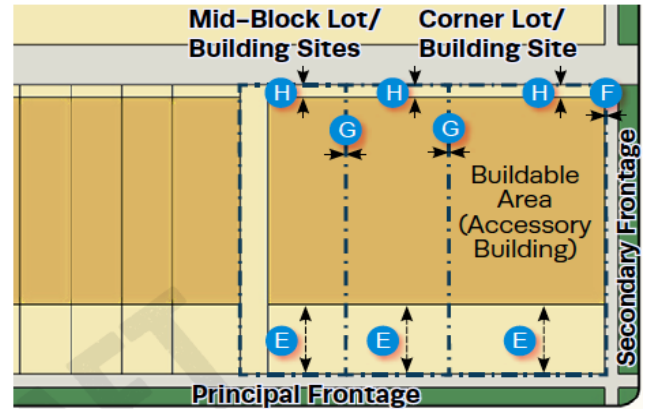
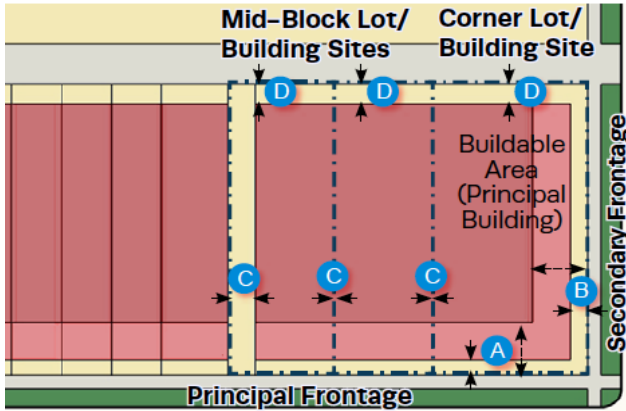
Principal Building	1 max
Accessory Buildings	1 max

<b>LEGEND</b> The following notations are utilized in this table.	<b>P</b> Permitted	<b>NP</b> Not Permitted	<b>NA</b> Not Applicable	<b>R</b> Required	<b>NR</b> Not Regulated
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# ARTICLE III: STANDARDS & REQUIREMENTS

**CD-6** TABLE III.2.A CHARACTER DISTRICT STANDARDS:  
URBAN CORE CHARACTER DISTRICT



## Lot Occupation

Lot Width	25 ft. min; 100 ft. max
Lot Coverage	100% max
Lot Enfrontment	Must enfront a vehicular Thoroughfare, except that if Lots have legal and physical access to a vehicular Thoroughfare via a Driveway or Easement, (a) such Lots may Enfront a Civic Space and (b) ≤ 20% of the Lots within each Character District of a Development Site may Enfront a Pedestrian Path or a Passage.

## Setbacks

Principal Building		Accessory Building	
Front Setback, Principal Frontage	0 ft. min, 5 ft. max <b>A</b>	Front Setback, Principal Frontage	10 ft. min. + Principal Building Front Setback <b>E</b>
Front Setback, Secondary Frontage	0 ft. min, 5 ft. max <b>B</b>	Front Setback, Secondary Frontage	10 ft. min. + Principal Building Front Setback <b>F</b>
Side Setback, each side	0 ft. min per side <b>C</b>	Side Setback, each side	0 ft. min per side <b>G</b>
Rear Setback	0 ft. min <b>D</b>	Rear Setback	0 ft. min <b>H</b>

<b>LEGEND</b> The following notations are utilized in this table.	<b>P</b> Permitted	<b>NP</b> Not Permitted	<b>NA</b> Not Applicable	<b>R</b> Required	<b>NR</b> Not Regulated
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# ARTICLE III: STANDARDS & REQUIREMENTS

**CD-6** TABLE III.2.A CHARACTER DISTRICT STANDARDS:  
URBAN CORE CHARACTER DISTRICT

## Encroachments – Required Setbacks

Encroachment Type	Front	Side	Rear
Steps to Building Entrance	P up to 50% of Setback	P	P
Open Porches, including steps	P up to 50% of Setback	P	P
Patio Decks, if permitted in applicable Layer	NP	P	P
Openwork Fire Balconies	NP	P	P
Chimney flues, sills, belt courses, cornices, buttresses eaves and other Architectural Features	P	P	P
Satellite dishes/ antennae	P	P	P
Mechanical equipment, including HVAC	NP	P	P
Utility lines, wires and associated structures (e.g. poles)	P	P	P
Fences, hedges, walls, Shrubbery, and other landscape features	P	P	P
Parking Areas, Loading Areas and Driveways in 3rd Layer	NP	P	P
Stoops, Lightwells, Terraces	P up to 50% of Setback	P	P
Balconies and Bay Windows	P	P	P

## Building Standards

### Building Height

**Principal Building** 15 stories max, 3 stories min

**Accessory Building** 2 stories max

\* Stories do not include Attics and basements.

### Ceiling Height

Height may not exceed 14 ft. in height from finished floor to finished ceiling, except for a first floor Commercial function which must be a minimum of 11 ft with a maximum of 25 ft.

### Facade

**Frontage Buildout** 75% min

**Entrances/Active Functions** Main Entrance must be in Facade of Principal Frontages. If Shopfront Frontage at corner, Main Entrance may be at Principal Frontage or at corner.

<b>LEGEND</b> The following notations are utilized in this table.	<b>P</b> Permitted	<b>NP</b> Not Permitted	<b>NA</b> Not Applicable	<b>R</b> Required	<b>NR</b> Not Regulated
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# ARTICLE III: STANDARDS & REQUIREMENTS

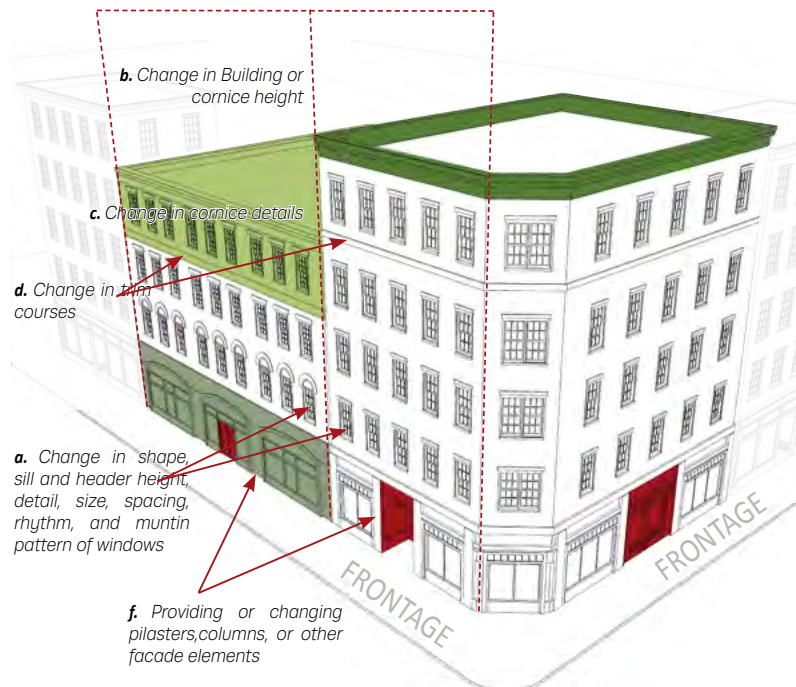
## CD-6 TABLE III.2.A CHARACTER DISTRICT STANDARDS: URBAN CORE CHARACTER DISTRICT

### Building Standards (continued)

Location of Building at Frontage	Parallel to Frontage Lines
Facade Position	Parallel to straight Frontage Line or to tangent of curved Frontage Line
Blank Walls	<b>NP</b> at Frontage
Facade Openings	Windows and/or doors spaced $\leq 20$ ft. apart Square or vertical in proportion Except in Shopfront or Gallery Frontage, Windows in Facade and 1st & 2nd Layers must be single-hung, double-hung, casement or awning types. In Stories above first, Facade openings must be $\leq 50\%$ of total facade area.
Facade Glazing	20% min – 70% max for non-Shopfront; 70% min for Shopfront of total facade area.
Window Alignment	Upper floor windows and other features must be aligned with those of first floor of total facade area

Facade greater than 100 ft. in width must be differentiated so that it appears to be comprised of two or more Adjacent Buildings, by dividing such Facade into two segments each of which includes a separate entrance and (1) differs from each of the other segments with respect to all of the following: (a) a change in shape, sill, and header height, detail, size, spacing, rhythm, and muntin pattern of windows; (b) a change of Building or cornice height; (c) a change in cornice details; (d) a change of wall material or wall color; a change in trim courses and other horizontal elements; (e) a change in dormer or balcony design, if any, and (f) providing or changing pilasters, columns, or other Facade elements; and (2) is composed with a defined center and edges

#### Facade Articulation



<b>LEGEND</b> The following notations are utilized in this table.	<b>P</b> Permitted	<b>NP</b> Not Permitted	<b>NA</b> Not Applicable	<b>R</b> Required	<b>NR</b> Not Regulated

# ARTICLE III: STANDARDS & REQUIREMENTS

## CD-6 TABLE III.2.A CHARACTER DISTRICT STANDARDS: URBAN CORE CHARACTER DISTRICT

### Building Standards (continued)

Finished Floor Level	If Residential: 2 ft.–6 ft. above avg. grade at Frontage Line
Facade Window Sill Height	If Residential: 3 ft. min above avg. grade at Frontage Line Shopfront Frontages: at knee wall
Shopfront Frontages	12"–24" knee wall required at Frontage
Decks	<b>NP</b> at Frontage
<b>Roof Type &amp; Roof Pitch</b>	
Flat	<b>P</b>
Shed	<b>P</b> at rear only and if ridge is attached to an exterior Building wall
Hip	<b>P</b>
Gable	<b>P</b>
Pitch, if any	8:12 – 14:12, except for shed roofs which may be 3:12 – 14:12

### Building Types

House	<b>NP</b>	Live/Work	<b>P</b>
Duplex	<b>NP</b>	Mixed Use	<b>P</b>
Triplex, Fourplex	<b>NP</b>	Flex	<b>P</b>
Townhouse	<b>NP</b>	Mid-Rise	<b>P</b>
Small Multifamily	<b>P</b>	High-Rise	<b>P</b>
Large Multifamily	<b>P</b>	Civic	<b>P</b>

See [Table III.5.G.1 \(Principal Building Types – Summary\)](#) and [Table III.5.G.2 \(Principal Building Types – Specific Standards\)](#)

#### LEGEND

The following notations are utilized in this table.

**P** Permitted

**NP** Not Permitted

**NA** Not Applicable

**R** Required

**NR** Not Regulated

# ARTICLE III: STANDARDS & REQUIREMENTS

## CD-6 TABLE III.2.A CHARACTER DISTRICT STANDARDS: URBAN CORE CHARACTER DISTRICT

### Vehicular Parking Requirements

Required Vehicular Parking	See Section III.8
Off-Street Parking Location	<b>P</b> in 3rd Layer only; <b>NP</b> in 1st Layer
Garage Location	<b>P</b> in 3rd Layer only; <b>NP</b> in 1st Layer
Driveway to Off-Street Parking & Passenger Drop-off Location	<b>P</b> in any Layer
Driveway/Vehicular Entrance Maximum Width	10 ft max in 1st Layer if Residential; 24 ft max in 1st Layer if non-Residential
Parking Structures	<b>P</b>
Parking Structure Pedestrian Exit Location	Via pedestrian access to Frontage

### Off-Street Loading, Storage, Trash Receptacle, Utility Box & Service Meter Requirements

Off-Street Loading Space	<b>R</b> sufficient space, with adequate off-street maneuvering area, to accommodate max # of trucks loading, unloading, or standing at any one time for all Principal Uses of Lot; not to encroach on any required Parking
Off-Street Trash Receptacle	Except for single family residential, <b>R</b> fully enclosed on 3 sides and enclosed on the 4th side with self-closing gate. In single family residential, <b>P</b> in 3rd Layer only
Off-Street Loading, Trash Receptacle, Utility Box & Service Meter Locations	<b>P</b> in 3rd Layer only; <b>NP</b> in 1st Layer

### Non-Building Components

	1st Layer	2nd Layer	3rd Layer
Clothes Drying Apparatus	<b>NP</b>	<b>NP</b>	<b>NP</b>
Heating and Air Conditioning Equipment, Utility, Service and Mechanical Equipment	<b>NP</b>	<b>P</b> in 2nd Layer if Screened from Frontage	<b>P</b>
Solar Panels	<b>P</b> in 1st or 2nd Layer if parallel to and integrated into roof design.		<b>P</b>
Antennas & Satellite Equipment less than or equal to 18" in diameter	<b>P</b> in 1st or 2nd Layer if such Layer is only location possible for satisfactory reception, as set forth by the FCC.		<b>P</b>
Outdoor Grilling Equipment	<b>NP</b>		<b>P</b>
Recreation or Play Equipment	<b>NP</b>		<b>P</b>
Animal Enclosures or Shelters	<b>NP</b>		<b>P</b>
Swimming Pools, Hot Tubs and Spas	<b>NP</b>		<b>P</b>

<b>LEGEND</b> The following notations are utilized in this table.	<b>P</b> Permitted	<b>NP</b> Not Permitted	<b>NA</b> Not Applicable	<b>R</b> Required	<b>NR</b> Not Regulated
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# ARTICLE III: STANDARDS & REQUIREMENTS

## CD-6 TABLE III.2.A CHARACTER DISTRICT STANDARDS: URBAN CORE CHARACTER DISTRICT

### Private Landscaping and Fencing

#### Landscaping

**R** 2 trees per 50 feet of Frontage if front Setback  $\geq$  15 ft, planted in 1st Layer, minimum of 30% of 1st Layer must be landscaped

#### Walls & Fencing (not including Screens)

<b>Height</b>	3.5–4 ft. at Frontage; otherwise 6 ft. max; height measured from avg. undisturbed grade of Adjacent property at property line
<b>Construction</b>	Finished side must face Adjacent property, Thoroughfare, Path, Passage or Waterbody
<b>Maintenance</b>	Must be well-maintained, in upright condition and free of missing or broken parts.

#### Allowed Materials

<b>Natural Wood</b>	<b>P</b> Only picket type allowed at Frontage; other types allowed on sides and rear	<b>Chain Link</b>	<b>P</b> at rear and sides only
<b>Brick, Natural Stone or Stucco over Masonry</b>	<b>P</b>	<b>Exposed or painted aggregate concrete</b>	<b>NP</b>
<b>Wrought Iron or Aluminum</b>	<b>P</b>	<b>Smooth or split-faced block</b>	<b>NP</b>
<b>Vinyl</b>	<b>NP</b>		

### Lighting Zone

Lighting Zone-3 (LZ-3)

#### LEGEND

The following notations are utilized in this table.

**P** Permitted

**NP** Not Permitted

**NA** Not Applicable

**R** Required

**NR** Not Regulated

# ARTICLE III: STANDARDS & REQUIREMENTS

## CD-6 TABLE III.2.A CHARACTER DISTRICT STANDARDS: URBAN CORE CHARACTER DISTRICT

Screens & Streetscreens		
Height		
	At Frontage or Adjacent to Civic Space	Not at Frontage or Adjacent to Civic Space
Wall Screen/Streetscreen Height	3.5ft. to 4 ft.	5ft. to 6ft; Min 6ft. for Dumpsters and trash receptacles
Fence Screen/Streetscreen Height	3.5ft. to 4 ft.	5ft. to 6ft; Min 6ft. for Dumpsters and trash receptacles
Hedge Screen/Streetscreen Height	3.5ft. to 4 ft. at installation	5 ft. to 6ft. at installation
Materials		
Wall Screen or Streetscreen	Brick, natural Stone or Stucco over Masonry	
Fence Screen or Streetscreen	Natural Wood, painted or unpainted	
Hedge Screen or Streetscreen	Evergreen plants with min. 80% opacity	
Additional Standards		
Non-Residential & Multi-Family Residential Screen /Streetscreen Adjacent to or across Thoroughfare from Non-Multi-Family Residential	NR	
Screening of Parking, Loading Areas, Service Areas, Outdoor Storage, Trash Receptacles/ Dumpsters, HVAC and other equipment Screened from Frontage, Civic Space and Adjacent Property	R ; except at Driveways. Parking Lots and Parking Areas must be Screened from Frontage and Civic Space by Building or Streetscreen; or by Building, Wall, hedge or fence not at Frontages or Adjacent to Civic Space.	
Rooftop Antenna Screening	R	
HVAC, Mechanical and other Equipment Screening	R ; must be Screened from Frontage and Civic Space by Building parapet or other Building Element	
Self-Service Storage Facility Screening	NA	
Streetscreen Location	2nd Layer	

<b>LEGEND</b> The following notations are utilized in this table.	Permitted	Not Permitted	Not Applicable	Required	Not Regulated



# ARTICLE III: STANDARDS & REQUIREMENTS

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**CD-6**

**TABLE III.2.A CHARACTER DISTRICT STANDARDS:  
URBAN CORE CHARACTER DISTRICT**

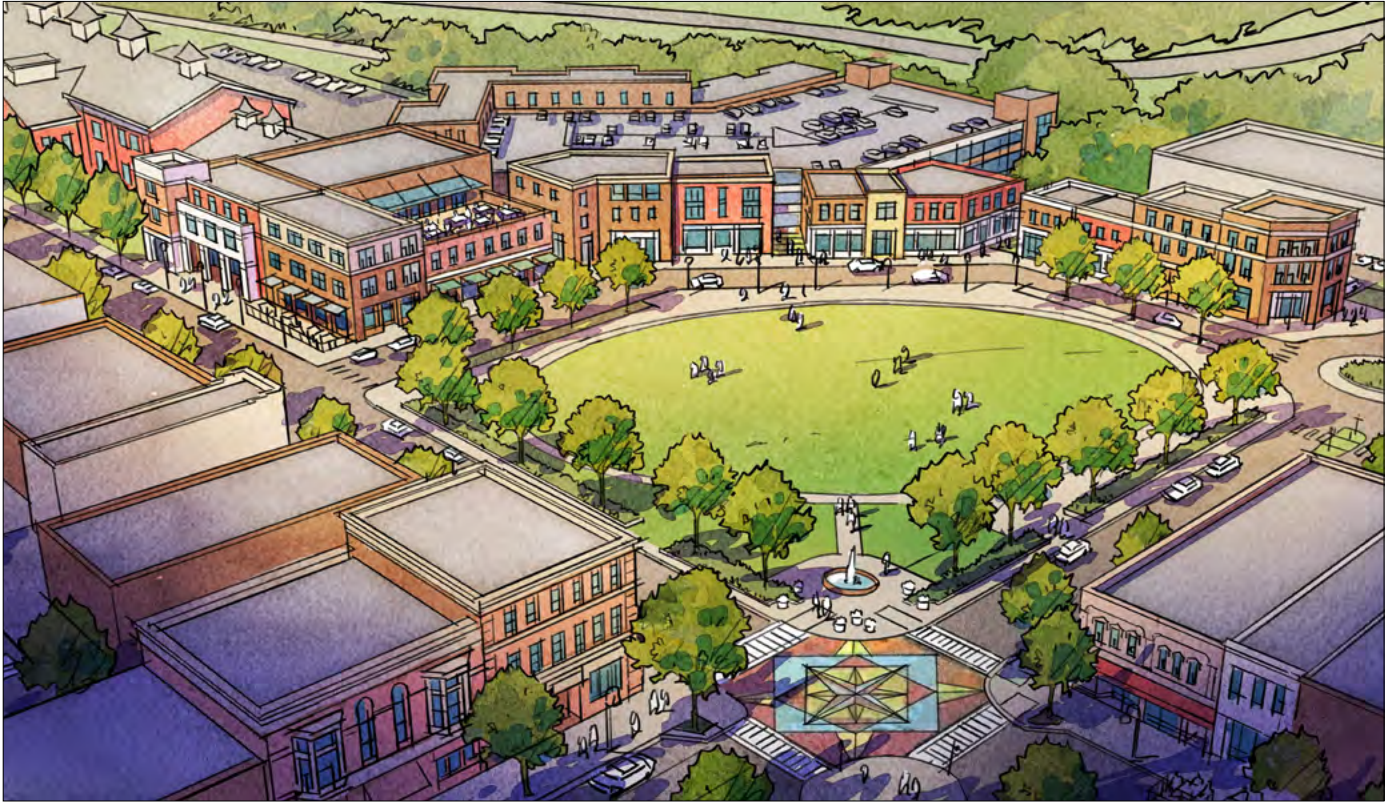
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ARTICLE III

# ARTICLE III: STANDARDS & REQUIREMENTS

**CZ**

**TABLE III.2.B CIVIC ZONE STANDARDS:  
CIVIC ZONE**



## General Description

The Civic Zone (CZ) is assigned to areas designated for Civic purposes. These may be Open Space of one or more Civic Space Types allowed within or Adjacent to any specific Character District, as well as sites dedicated to significant Buildings to be used for Civic purposes, such as Libraries, Museums, Places of Worship, and Schools.

# ARTICLE III: STANDARDS & REQUIREMENTS

**CZ**

**TABLE III.2.B CIVIC ZONE STANDARDS:  
CIVIC ZONE**

## Private Frontage Types

**NR**

## Civic Space Types

Park	<b>P</b>	Playground	<b>P</b>
Green	<b>P</b>	Sport Field	<b>P</b>
Square	<b>P</b>	Community Garden	<b>P</b>
Plaza	<b>P</b>	Pocket Park	<b>P</b>

See **Table III.14.C.1 (Civic Space Types – Summary)** and **Table III.14.C.2 (Civic Space – Specific Standards)**

## Permitted Uses

See **Table III.7.A (Permitted Principal Uses)**

## Number of Buildings

Principal Building	1 max
Accessory Buildings	1 max

## Lot Occupation

Lot Width	<b>NR</b>
Lot Coverage	<b>NR</b>
Lot Enfrontment	Must enfront a vehicular Thoroughfare, Internal Drive, Pedestrian Path, Passage, pedestrian walkway or waterbody

## Setbacks

Principal Building		Accessory Building
Front Setback, Principal Frontage	0 ft. min, 50% of Lot Depth max <b>A</b>	
Front Setback, Secondary Frontage	0 ft min <b>B</b>	<b>NR</b>
Side Setback, each side	0 ft. min <b>C</b>	
Rear Setback	0 ft. min <b>D</b>	

<b>LEGEND</b> The following notations are utilized in this table.	<b>P</b> Permitted	<b>NP</b> Not Permitted	<b>NA</b> Not Applicable	<b>R</b> Required	<b>NR</b> Not Regulated
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ARTICLE III

# ARTICLE III: STANDARDS & REQUIREMENTS

**CZ** TABLE III.2.B CIVIC ZONE STANDARDS:  
CIVIC ZONE

Encroachments – Required Setbacks			
Encroachment Type	Front	Side	Rear
Steps to Building Entrance	<b>P</b> up to 50% of Setback	<b>P</b>	<b>P</b>
Open Porches, including steps	<b>P</b> up to 50% of Setback	<b>P</b>	<b>P</b>
Patio Decks, if permitted in applicable Layer	<b>NP</b>	<b>P</b>	<b>P</b>
Openwork Fire Balconies	<b>NP</b>	<b>P</b>	<b>P</b>
Chimney flues, sills, belt courses, cornices, buttresses eaves and other Architectural Features	<b>P</b>	<b>P</b>	<b>P</b>
Satellite dishes/ antennae	<b>P</b>	<b>P</b>	<b>P</b>
Mechanical equipment, including HVAC	<b>NP</b>	<b>P</b>	<b>P</b>
Utility lines, wires and associated structures (e.g. poles)	<b>P</b>	<b>P</b>	<b>P</b>
Fences, hedges, walls, Shrubbery, and other landscape features	<b>P</b>	<b>P</b>	<b>P</b>
Parking Areas, Loading Areas and Driveways in 3rd Layer	<b>NP</b>	<b>P</b>	<b>P</b>
Stoops, Lightwells, Terraces	<b>P</b> up to 50% of Setback	<b>P</b>	<b>P</b>
Balconies and Bay Windows	<b>P</b>	<b>P</b>	<b>P</b>

## Building Standards

### Building Height

Principal Building	20 ft higher than maximum height of any Adjacent Character District max
Accessory Building	Not to exceed principal building height

*\*Stories do not include Attics and basements.*

### Ceiling height

14 ft. min. 1st floor; 10 ft. min. other floors

### Facade

Entrances/Active Functions	Main Entrance must be in Facade of Principal Frontages. If Shopfront Frontage at corner, Main Entrance may be at Principal Frontage or at corner.
Location of Building at Frontage	Parallel to Frontage Lines
Facade Position	Parallel to straight Frontage Line or to tangent of curved Frontage Line

<b>LEGEND</b> The following notations are utilized in this table.	<b>P</b> Permitted	<b>NP</b> Not Permitted	<b>NA</b> Not Applicable	<b>R</b> Required	<b>NR</b> Not Regulated
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# ARTICLE III: STANDARDS & REQUIREMENTS

**CZ**

**TABLE III.2.B CIVIC ZONE STANDARDS: :  
CIVIC ZONE**

## Building Standards (continued)

Blank Walls	<b>NP</b> at Frontage
Facade Openings	Windows and/or doors spaced ≤ 20 ft. apart Square or vertical in proportion Except in Shopfront or Gallery Frontage, Windows in Facade and 1st & 2nd Layers must be single-hung, double-hung, casement or awning types. In Stories above first, Facade openings must be ≤ 50% of total facade area
Facade Glazing	20% min – 70% max for non-Shopfront of total facade area
Window Alignment	Upper floor windows and other features must be aligned with those of first floor.
Facade Articulation	<b>NR</b>
Finished Floor Level	<b>NR</b>
Facade Window Sill Height	<b>NR</b>
Shopfront Frontages	<b>NR</b>
Decks	<b>NP</b> at Frontage
<b>Roof Type &amp; Roof Pitch</b>	
Flat	<b>P</b>
Shed	<b>P</b> at rear only and if ridge is attached to an exterior Building wall
Hip	<b>P</b>
Gable	<b>P</b>
Pitch, if any	8:12 – 14:12, except for shed roofs which may be 3:12 – 14:12

## Building Types

House	<b>NP</b>	Mixed Use	<b>NP</b>
Duplex	<b>NP</b>	Flex	<b>NP</b>
Townhouse	<b>NP</b>	Mid-Rise	<b>NP</b>
Small Multifamily	<b>NP</b>	High-Rise	<b>NP</b>
Large Multifamily	<b>NP</b>	Civic	<b>P</b>
Live/Work	<b>NP</b>		

See **Table III.5.G.1 (Principal Building Types – Summary)** and **Table III.5.G.2 (Principal Building Types – Specific Standards)**

<b>LEGEND</b> The following notations are utilized in this table.	<b>P</b> Permitted	<b>NP</b> Not Permitted	<b>NA</b> Not Applicable	<b>R</b> Required	<b>NR</b> Not Regulated
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# ARTICLE III: STANDARDS & REQUIREMENTS

**CZ** TABLE III.2.B CIVIC ZONE STANDARDS:  
CIVIC ZONE

## Vehicular Parking Requirements

Required Vehicular Parking	See Section III.8
Off-Street Parking Location	<b>P</b> in 3rd Layer only; <b>NP</b> in 1st Layer
Garage Location	<b>P</b> in 3rd Layer only; <b>NP</b> in 1st Layer
Driveway to Off-Street Parking & Passenger Drop-off Location	<b>P</b> in any Layer
Driveway/Vehicular Entrance Maximum Width	10 ft max in 1st Layer if Residential; 24 ft max in 1st Layer if non-Residential
Parking Structures	<b>P</b>
Parking Structure Pedestrian Exit Location	Via pedestrian access to Frontage

## Off-Street Loading, Storage, Trash Receptacle, Utility Box & Service Meter Requirements

Off-Street Loading Space	<b>R</b> sufficient space, with adequate off-street maneuvering area, to accommodate max # of trucks loading, unloading, or standing at any one time for all Principal Uses of Lot; not to encroach on any required Parking
Off-Street Trash Receptacle	Except for single family residential, <b>R</b> fully enclosed on 3 sides and enclosed on the 4th side with self-closing gate. In single family residential, <b>P</b> in 3rd Layer only
Off-Street Loading, Trash Receptacle, Utility Box & Service Meter Locations	<b>P</b> in 3rd Layer only; <b>NP</b> in 1st Layer

## Non-Building Components

	1st Layer	2nd Layer	3rd Layer
Clothes Drying Apparatus	<b>NP</b>	<b>NP</b>	<b>NP</b>
Heating and Air Conditioning Equipment, Utility, Service and Mechanical Equipment	<b>NP</b>	<b>P</b> in 2nd Layer if Screened from Frontage	<b>P</b>
Solar Panels	<b>P</b> in 1st or 2nd Layer if parallel to and integrated into roof design.		<b>P</b>
Antennas & Satellite Equipment less than or equal to 18" in diameter	<b>P</b> in 1st or 2nd Layer if such Layer is only location possible for satisfactory reception, as set forth by the FCC.		<b>P</b>
Outdoor Grilling Equipment	<b>NP</b>	<b>NP</b>	<b>P</b>
Recreation or Play Equipment	<b>NP</b>	<b>NP</b>	<b>P</b>
Animal Enclosures or Shelters	<b>NP</b>	<b>NP</b>	<b>P</b>
Swimming Pools, Hot Tubs and Spas	<b>NP</b>	<b>NP</b>	<b>P</b>

<b>LEGEND</b> The following notations are utilized in this table.	<b>P</b> Permitted	<b>NP</b> Not Permitted	<b>NA</b> Not Applicable	<b>R</b> Required	<b>NR</b> Not Regulated
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# ARTICLE III: STANDARDS & REQUIREMENTS

**CZ**

**TABLE III.2.B CIVIC ZONE STANDARDS:  
CIVIC ZONE**

## Private Landscaping and Fencing

### Landscaping

**R** 2 trees per 50 feet of Frontage if front Setback  $\geq$  15 ft, planted in 1st Layer, minimum of 30% of 1st Layer must be landscaped

### Walls & Fencing (not including Screens)

<b>Height</b>	3.5–4 ft. at Frontage; otherwise 6 ft. max; height measured from avg. undisturbed grade of Adjacent property at property line
<b>Construction</b>	Finished side must face Adjacent property, Thoroughfare, Path, Passage or Waterbody
<b>Maintenance</b>	Must be well-maintained, in upright condition and free of missing or broken parts.

### Allowed Materials

Natural Wood	<b>P</b>	Only picket type allowed at Frontage; other types allowed on sides and rear	Chain Link	<b>P</b>	at rear and sides only
Brick, Natural Stone or Stucco over Masonry	<b>P</b>		Exposed or painted aggregate concrete	<b>NP</b>	
Wrought Iron or Aluminum	<b>P</b>		Smooth or split-faced block	<b>NP</b>	
Vinyl	<b>NP</b>				

## Lighting Zone

Lighting Zone-2 (LZ-2)

ARTICLE III

**LEGEND**

The following notations are utilized in this table.

**P** Permitted

**NP** Not Permitted

**NA** Not Applicable

**R** Required

**NR** Not Regulated

# ARTICLE III: STANDARDS & REQUIREMENTS

**CZ** TABLE III.2.B CIVIC ZONE STANDARDS:  
CIVIC ZONE

Screens & Streetscreens		
Height		
	At Frontage or Adjacent to Civic Space	Not at Frontage or Adjacent to Civic Space
Wall Screen/Streetscreen Height	3.5 ft. to 4 ft.	5ft. to 6ft; Min 6ft. for Dumpsters and trash receptacles
Fence Screen/Streetscreen Height	3.5 ft. to 4 ft.	5ft. to 6ft; Min 6ft. for Dumpsters and trash receptacles
Hedge Screen/Streetscreen Height	3.5 ft. to 4 ft. at installation	5 ft. to 6ft. at installation
Materials		
Wall Screen or Streetscreen	Brick, natural Stone or Stucco over Masonry	
Fence Screen or Streetscreen	Natural Wood, painted or unpainted	
Hedge Screen or Streetscreen	Evergreen plants with min. 80% opacity	
Additional Standards		
Non-Residential & Multi-Family Residential Screen /Streetscreen Adjacent to or across Thoroughfare from Non-Multi-Family Residential	NR	
Screening of Parking, Loading Areas, Service Areas, Outdoor Storage, Trash Receptacles/ Dumpsters, HVAC and other equipment Screened from Frontage, Civic Space and Adjacent Property	R ; except at Driveways. Parking Lots and Parking Areas must be Screened from Frontage and Civic Space by Building or Streetscreen; or by Building, Wall, hedge or fence not at Frontages or Adjacent to Civic Space.	
Rooftop Antenna Screening	R	
HVAC, Mechanical and other Equipment Screening	R ; must be Screened from Frontage and Civic Space by Building parapet or other Building Element	
Self-Service Storage Facility Screening	NA	
Streetscreen Location	2nd Layer	

<b>LEGEND</b> The following notations are utilized in this table.	<b>P</b> Permitted	<b>NP</b> Not Permitted	<b>NA</b> Not Applicable	<b>R</b> Required	<b>NR</b> Not Regulated
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# ARTICLE III: STANDARDS & REQUIREMENTS

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**CZ**

**TABLE III.2.B CIVIC ZONE STANDARDS:  
CZ CIVIC ZONE**

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**ARTICLE III**

# ARTICLE III: STANDARDS & REQUIREMENTS

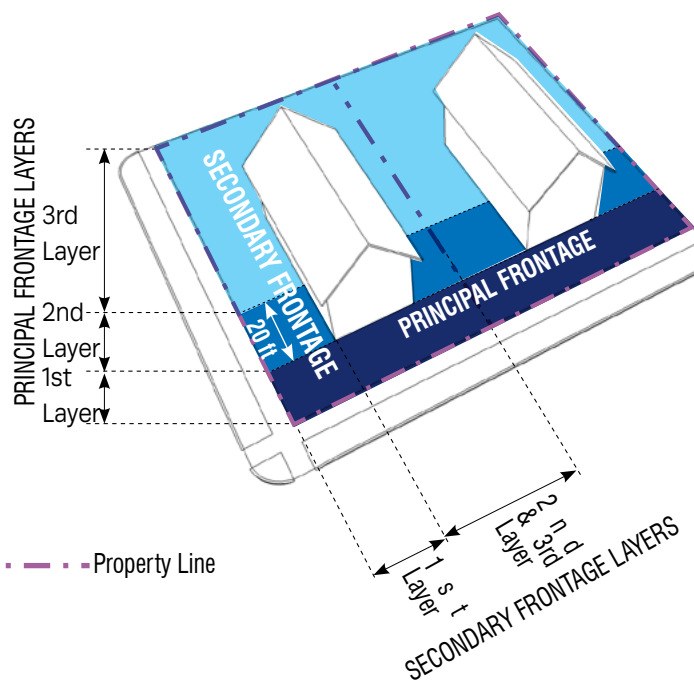
## SECTION 3 LOTS.

### A. Layers.

Lots are composed of three Layers, the First Layer, the Second Layer and the Third Layer, as shown in **Illustration III.3.A (Layers)** and as defined in Article IV (Definitions) of this Character-Based Code.

Layers are used to describe areas within a Lot where certain elements or Uses are permitted to be located.

**ILLUSTRATION III.3.A LAYERS**



### B. Lot Dimensions.

Newly platted Lots:

1. Within each Character District shall be dimensioned according to **Table III.2.A (Character District Standards)**; and
2. Within each Civic Zone shall be dimensioned according to **Table III.2.B (Civic Zone Standards)**;

### C. Lot Coverage.

Lot Coverage within each Character District shall not exceed that provided in **Table III.2.A (Character District Standards)**.

### D. Lot Enfrontment.

Each Lot shall Enfront a vehicular Thoroughfare; provided that Lots may Enfront either a Thoroughfare, Civic Space, Path, Passage if such Lot has legal and physical access to a Vehicular Thoroughfare via Driveway or Easement; and provided further that no more than 20% of the Lots within a Development Site may Enfront a Path or Passage.

## SECTION 4 BUILDING PLACEMENT, NUMBER & FACADES.

### A. Building Placement.

Buildings shall be located in relation to the boundaries of their Lots and shall comply with the Setback standards. See **Illustration III.4.A (Setback Designations)**:

1. Each Character District according to **Table III.2.A (Character District Standards)**; and
2. Within each Civic Zone, according to the applicable standards set forth on **Table III.2.B (Civic Zone Standards)**.

# ARTICLE III: STANDARDS & REQUIREMENTS

ILLUSTRATION III.4.A SETBACK DESIGNATIONS

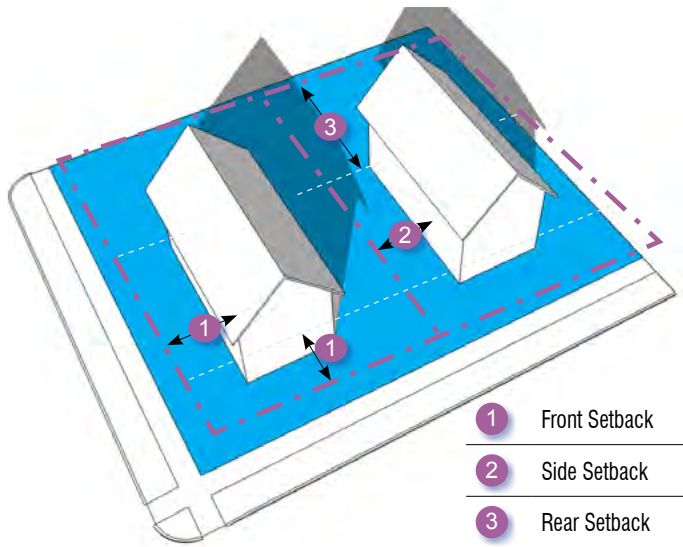
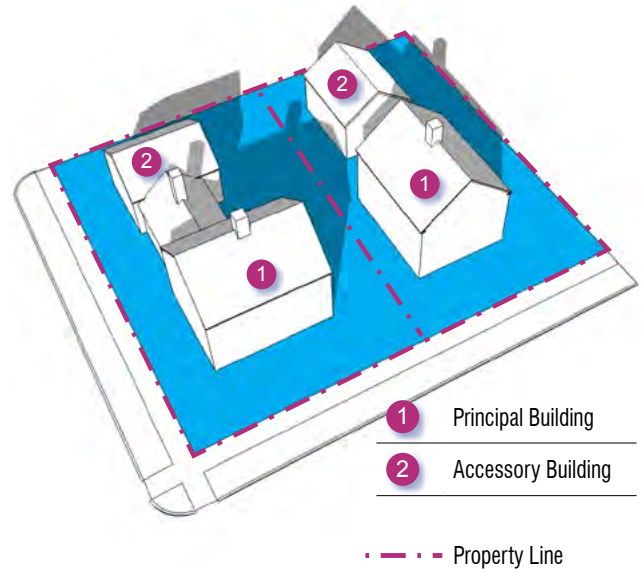


ILLUSTRATION III.4.B PRINCIPAL BUILDING / ACCESSORY BUILDING



## B. Principal Buildings.

Within each Character District:

1. The number of Principal Buildings on each Lot shall not exceed that indicated **Table III.2.A (Character District Standards)**; and
2. Principal Buildings shall be oriented and situated generally as specified in **Table III.2.A (Character District Standards)** and illustrated generally in **Illustration III.4.B (Principal Building / Accessory Building)**.

## C. Accessory Building.

Within each Character District:

1. The number of Accessory Buildings on each Lot shall not exceed that indicated in **Table III.2.A (Character District Standards)**; and
2. Any such Accessory Buildings shall be located as specified in **Table III.2.A (Character District Standards)** and illustrated generally in **Illustration III.4.B (Principal Building / Accessory Building)**.

## D. Building Facades.

1. Within each Character District, Building Facades shall be built as required in **Table III.3.A (Character District Standards)**.
2. In each Character District, the Facade of the Principal Building shall be built along the minimum percentage of the Front Lot Line width at the Setback, as specified as Frontage Buildout on **Table III.2.A (Character District Standards)**; provided that a Streetscreen may be substituted for a Facade for up to 20% of such applicable Frontage Buildout requirement.

# ARTICLE III: STANDARDS & REQUIREMENTS






## SECTION 5

### PRIVATE FRONTAGE, BUILDING FORM & BUILDING TYPE; FLOOR ELEVATION.

#### A. Private Frontage – General.

Within each Character District, the Private Frontage shall conform to and be allocated in accordance with **Table III.5.A (Private Frontage Types)** and **Table III.2.A (Character District Standards)**.



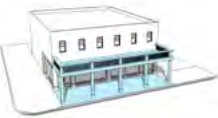



**TABLE III.5.A PRIVATE FRONTAGE TYPES**

Private Frontage Type	Permitted Districts
 <p><b>Common Yard</b> A planted Frontage wherein the Facade is set back substantially from the Frontage Line. The front yard created remains unfenced and is visually continuous with Adjacent yards, supporting a common landscape. The deep Setback provides a buffer from higher speed Thoroughfares.</p>	CD-4
 <p><b>Porch</b> A planted Frontage wherein the Facade is set back from the Frontage Line with an attached porch permitted to Encroach. This may be used with or without a fence to maintain Thoroughfare spatial definition.</p>	CD-4
 <p><b>Fence</b> A planted Frontage wherein the Facade is set back from the Frontage Line and a fence is used to maintain Thoroughfare spatial definition. This may be used with or without a porch.</p>	CD-4
 <p><b>Terrace/Lightwell</b> A Frontage where the Facade is set back from the Frontage line by an elevated landing and a sunken Lightwell. This type buffers residential, retail or service Uses from urban sidewalks and allows for activation of below grade space.</p>	CD-4 CD-5
 <p><b>Forecourt</b> A Frontage wherein a portion of the Facade is close to the Frontage Line and the central portion is set back. The Forecourt creates an intimate gathering space for the residents or additional shopping or restaurant seating area within retail and service areas. This type should be used sparingly and may be allocated in conjunction with other Frontage types.</p>	CD-4 CD-5



# ARTICLE III: STANDARDS & REQUIREMENTS

**TABLE III.5.A PRIVATE FRONTAGE TYPES**

Private Frontage Type	Permitted Districts	
	<p><b>Stoop</b> A Frontage wherein the Facade is aligned close to the Frontage Line with the first Story elevated from the Sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground-floor residential Use.</p>	<p>CD-4 CD-5 CD-6</p>
	<p><b>Shopfront</b> A Frontage wherein the Facade is aligned close to or at the Frontage Line with the Building entrance at Sidewalk grade. This type is conventional for Retail Use. It has a substantial glazing on the Sidewalk level and may include an awning that may overlap the sidewalk.</p>	<p>CD-4 CD-5 CD-6</p>
	<p><b>Gallery</b> A Frontage wherein the Facade is aligned close to the Frontage line with an attached cantilevered shed or a lightweight colonnade. This type is intended for Buildings with ground floor commercial or retail Uses and the Gallery may be one or two stories.</p>	<p>CD-4 CD-5 CD-6</p>
	<p><b>Arcade</b> A colonnade supporting habitable space where the Frontage Facade is set back from the Frontage line and the arcade meets the sidewalk. An Encroachment Permit must be obtained for any part of the Building which extends into the Public Right-of-Way.</p>	<p>CD-5 CD-6</p>
	<p><b>Dooryard</b> A Frontage type where the Frontage Facade of the Building is set back a small distance and the Frontage line is defined by a low wall, decorative fence or hedge, creating a small dooryard. The door-yard shall not provide public circulation along a ROW. The dooryard may be raised, sunken, or at grade and is intended for ground-floor residential.</p>	<p>CD-4 CD-5</p>
	<p><b>Commercial front</b> A Frontage wherein the Facade is aligned close to or at the Frontage Line with the Building entrance at or above Sidewalk grade. This type is conventional for Office/ Commercial Use. It may have a substantial glazing on the Facade</p>	<p>CD-4 CD-5 CD-6</p>

# ARTICLE III: STANDARDS & REQUIREMENTS

## B. Private Frontage on Corner Lots.

1. Principal Buildings on Corner Lots shall have two Private Frontages: (a) a Principal Frontage and (b) a Secondary Frontage, as illustrated generally in **Illustration III.5.B (Frontage & Lot Lines)**.

**ILLUSTRATION III.5.B FRONTAGE & LOT LINES**



- 1 Frontage Line
- 2 Lot Line
- 3 Facades
- 4 Facades

2. Standards for the Second Layer and Third Layer of Corner Lots pertain only to the Principal Frontage. Prescriptions for the First Layer of Corner Lots pertain to both Frontages. See **Illustration III.3.A (Layers)**.

## C. Building & Ceiling Height; Floor Finish Elevation.

1. Building heights and ceiling heights:
  - a. Within each Character District shall conform to **Table III.2.A (Character District Standards)**; and
  - b. Within each Civic Zone shall conform to any applicable standards set forth or referenced in **Table III.2.B (Civic Zone Standards)**.
2. In calculating the height of a Building, none of the following shall be considered:

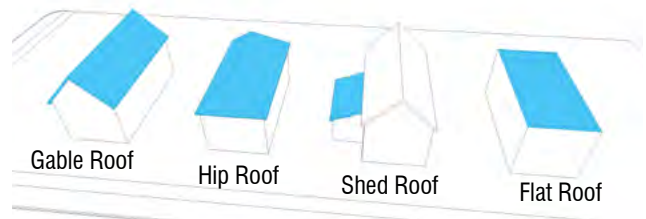
- a. Attics under 14 ft in height at their tallest point;
- b. Raised basements; or
- c. Masts, belfries, clock towers, chimney flues, silos, water tanks, or elevator bulkheads.

3. Building ground finish floor elevation within each Character District shall conform to **Table III.2.A (Character District Standards)**.

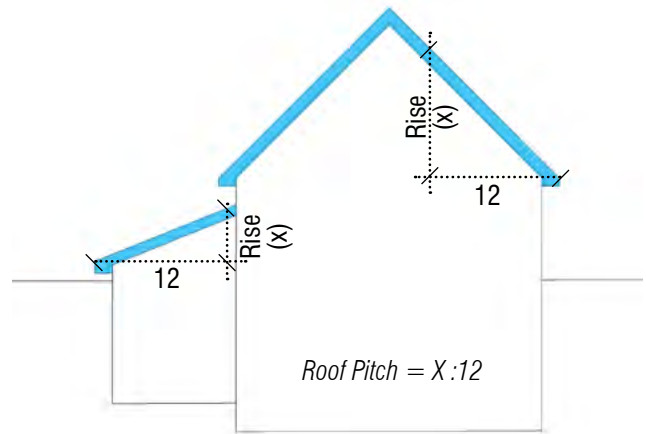
## D. Roof Type & Pitch.

1. Within each Character District, Building roof type and pitch shall conform to **Table III.2.A (Character District Standards)**.

**ILLUSTRATION III.5.D.1 ROOF TYPES**



**ILLUSTRATION III.5.D.2 ROOF PITCH**



## E. Habitable Area of Accessory Dwelling.

The habitable area of an Accessory Dwelling within an Accessory Building shall not exceed 660 square feet.

## F. Screens and Streetscreens.







1. Any Screen or Streetscreen shall comply with **Table III.2.A (Character District Standards)**.
2. Screens shall have openings no larger than necessary to allow automobile and pedestrian access.
3. Any Streetscreen shall be built on the same plane as the related Building Facade.

## G. Building Types.

Buildings in each Character District and Civic Zone shall be of one or more of the Building Types specified for such Character District in **Table III.5.G.1 (Building Types – Summary)** and **Table III.5.G.2 (Building Types – Specific Standards)**.







# ARTICLE III: STANDARDS & REQUIREMENTS

TABLE III.5.G.1 BUILDING TYPES – SUMMARY

Building Type	Permitted Districts
	<p><b>House</b> A detached Building having an Edgeyard yard type that may be shared with an Accessory Building in the rear yard. This Building type typically incorporates a single residential unit.</p> <p><b>CD-4</b></p>
	<p><b>Duplex</b> A Building that consists of two attached units, with separate or shared entrances at least one of which faces the Thoroughfare. Both of the units, arranged horizontally or vertically, are contained within a single Building massing. This Building type sits on a small to medium sized urban Lot having an Edgeyard or Sideyard yard type that may be shared with an Accessory Building in the rear yard.</p> <p><b>CD-4</b></p>
	<p><b>Triplex, Fourplex</b> A Building that consists of three (triplex) or four (fourplex) attached units, with shared or separate entrances at least one of which faces the Thoroughfare. All units, arranged horizontally or vertically, are contained within a single Building massing. This Building type sits on a medium sized urban Lot having an Edgeyard or Sideyard yard type that may be shared with an Accessory Building in the rear yard.</p> <p><b>CD-4</b> <b>CD-5</b></p>
	<p><b>Townhouse</b> A collection of narrow attached Buildings with a Rearyard yard type (or Sideyard as an end unit) that consists of side-by-side units with individual entries facing the Thoroughfare. This type shares at least one party wall with another Building of the same type and occupies the full Frontage Line.</p> <p><b>CD-4</b> <b>CD-5</b></p>
	<p><b>Small Multi-Family Building</b> A Building that consists of 5 – 8 units, typically with one or more shared entries.</p> <p><b>CD-4</b> <b>CD-5</b></p>
	<p><b>Medium Multi-Family Building</b> A Building that consists of 9 – 12 units, typically with one or more shared entries.</p> <p><b>CD-4</b> <b>CD-5</b> <b>CD-6</b></p>
	<p><b>Large Multi-Family Building</b> A Building that consists of 13 or more units, typically with one or more shared entries.</p> <p><b>CD-5</b> <b>CD-6</b></p>

# ARTICLE III: STANDARDS & REQUIREMENTS

**TABLE III.5.G.1 BUILDING TYPES – SUMMARY**

Building Type	Permitted Districts
 <p><b>Live/Work Building</b> A Building that consists of a flexible space used for artisan, studio, service, or retail Uses, and a residential unit above and/or behind. Both the flex space and the residential unit are internally connected. This type is appropriate for providing affordable and flexible Mixed Use space for incubating neighborhood-serving retail and service Uses, artists and other craftspeople.</p>	<p>CD-4 CD-5 CD-6</p>
 <p><b>Mixed-Use Building</b> A Building that provides a vertical and/or horizontal mix of Uses typically designed to facilitate pedestrian-oriented retail, hospitality, service or office Uses on the ground floor, with upper floors typically designed for residential or Office Uses. A Mixed Use Building typically shares a party wall attached to an adjacent building on one or more sides.</p>	<p>CD-4 CD-5 CD-6</p>
 <p><b>Flex Building</b> A large footprint Building designed to accommodate a single Use or a vertical or horizontal mix of Uses.</p>	<p>CD-4 CD-5 CD-6</p>
 <p><b>Mid-Rise Building</b> A Building that may provide a vertical and/or horizontal mix of Uses, typically designed to facilitate a pedestrian-oriented streetfront. May contain retail, hospitality, service, office, or other commercial Uses on the ground floor. Upper floors typically designed for residential or Office Uses. A Mid-Rise Building may share a party wall attached to an adjacent building on one or more sides, or be free-standing.</p>	<p>CD-5 CD-6</p>
 <p><b>High-Rise</b> A Building that may provide a vertical and/or horizontal mix of Uses, typically designed to facilitate a pedestrian-oriented streetfront. May contain retail, hospitality, service, office, or other commercial Uses on the ground floor. Upper floors typically designed for commercial, Office, or residential Uses. A Mid-Rise Building may share a party wall attached to an adjacent shortert building, on one or more sides, or be free-standing.</p>	<p>CD-6</p>
 <p><b>Civic Building</b> A medium to large sized attached or detached Building designed to stand apart from its surroundings due to the specialized nature of its public or quasi-public function for public assembly and activity. Examples include libraries, churches, courthouses, schools, centers of government, performing arts, and museums. They are often the most prominently sited and architecturally significant structures in a community.</p>	<p>CD-4 CD-5 CD-6 CV</p>

Images are provided for illustrative purposes only.

# ARTICLE III: STANDARDS & REQUIREMENTS

## HOUSE

### TABLE III.5.G.2 BUILDING TYPES SPECIFIC STANDARDS



## Permitted Districts

### CD-4

#### General Description

A detached Building having an Edgeyard yard type that may be shared with an Accessory Building in the rear yard. This Building type typically incorporates a single residential unit.

#### Lot / Building Site

Width Per Character District Lot Width

#### Number of Units

Units per Building 1

#### Allowed Private Frontages

Common Yard

Fence

Porch

Stoop

#### Building Size and Massing

##### Height

3 Stories max

##### Width

Not Regulated

#### Pedestrian Access

Main Entrance Location Principal Frontage

#### Vehicle Access and Parking

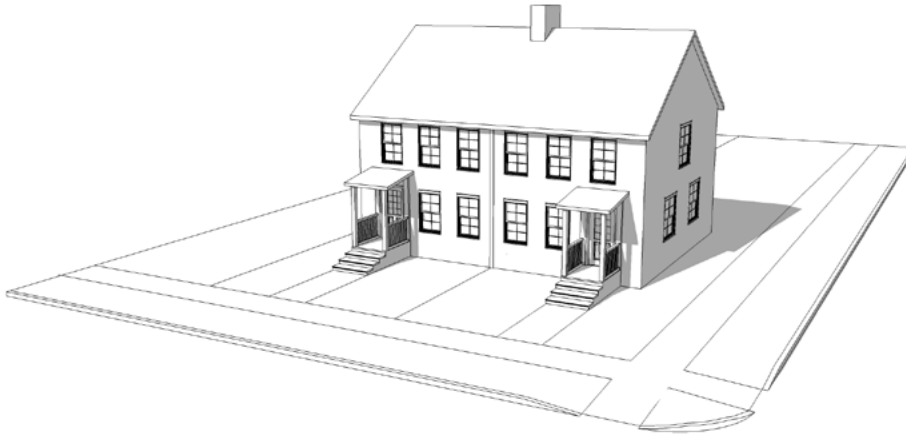
Parking may be accessed from an Alley, side Thoroughfare or front Thoroughfare.



# ARTICLE III: STANDARDS & REQUIREMENTS

## DUPLEX

### TABLE III.5.G.2 BUILDING TYPES SPECIFIC STANDARDS



### Permitted Districts

**CD-4**

**CD-5**

#### General Description

A Building that consists of two attached units, with separate or shared entrances at least one of which faces the Thoroughfare. Both of the units, arranged horizontally or vertically, are contained within a single Building massing. This Building type sits on a small to medium sized urban Lot having an Edgeyard or Sideyard yard type that may be shared with an Accessory Building in the rear yard.

#### Lot / Building Site

**Width** Per District Lot/Building Site Width

#### Number of Units

**Units per Building** 2

#### Building Size and Massing

##### Height

3 Stories max

##### Width

48 ft. max.

#### Pedestrian Access

Main Entrance Location Principal Frontage

#### Allowed Private Frontages

Common Yard

Fence

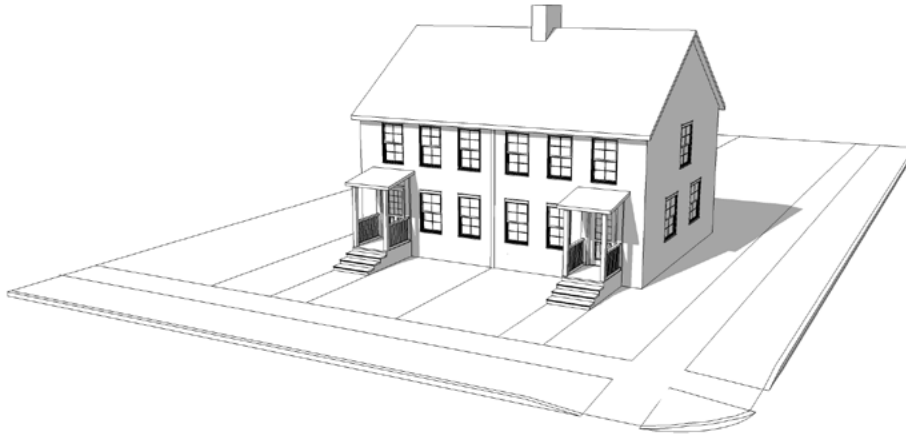
Porch

Stoop

# ARTICLE III: STANDARDS & REQUIREMENTS

## TRIPLEX, FOURPLEX

### TABLE III.5.G.2 BUILDING TYPES SPECIFIC STANDARDS



### Permitted Districts

**CD-4**

**CD-5**

#### General Description

A Building that consists of three (triplex) or four (fourplex) attached units, with shared or separate entrances at least one of which faces the Thoroughfare. All units, arranged horizontally or vertically, are contained within a single Building massing. This Building type sits on a medium sized urban Lot having an Edgeward or Sideyard yard type that may be shared with an Accessory Building in the rear yard.

#### Lot / Building Site

**Width** Per District Lot/Building Site Width

#### Number of Units

**Units per Building** 3 (triplex)  
4 (fourplex)

#### Building Size and Massing

##### Height

3 Stories max

##### Width

48 ft. max.

#### Pedestrian Access

Main Entrance Location Principal Frontage

#### Allowed Private Frontages

Common Yard

Fence

Porch

Stoop

# ARTICLE III: STANDARDS & REQUIREMENTS

## TOWNHOUSE

### TABLE III.5.G.2 BUILDING TYPES SPECIFIC STANDARDS



### Permitted Districts

**CD-4**

**CD-5**

#### General Description

A collection of narrow attached Buildings with a Rearyard yard type (or Sideyard as an end unit) that consists of side-by-side units with individual entries facing the Thoroughfare. This type shares at least one party wall with another Building of the same type and occupies the full Frontage Line.

#### Lot / Building Site

**Width** Per District Lot/Building Site Width

#### Number of Units

**Units per Townhouse** 2 max.

**Number Townhouses per Building** 4 min. – 8 max.

#### Allowed Private Frontages

Porch

Stoop

Terrace/Lightwell

Dooryard

#### Building Size and Massing

##### Height

Per Character District Height Standards

##### Width

12 ft. min. – 36 ft. max. per Townhouse

#### Pedestrian Access

Main Entrance Location Principal Frontage

# ARTICLE III: STANDARDS & REQUIREMENTS

## SMALL MULTI-FAMILY

### TABLE III.5.G.2 BUILDING TYPES SPECIFIC STANDARDS



#### Permitted Districts

**CD-4** **CD-5**

#### General Description

A Building that consists of 5 – 8 units, typically with one or more shared entries.

#### Lot

**Width** Per District Lot/Building Site Width

#### Number of Units

**Units per Building** 5 min. – 8 max.

#### Allowed Private Frontages

Porch

Stoop

Forecourt

Terrace/Lightwell

#### Building Size and Massing

##### Height

Per District Height Standards

##### Width

Per District Lot/Building Site Width and Side Setback / Setback Area Standards

#### Pedestrian Access

Main Entrance Location Principal Frontage

# ARTICLE III: STANDARDS & REQUIREMENTS

## MEDIUM MULTI-FAMILY

### TABLE III.5.G.2 BUILDING TYPES SPECIFIC STANDARDS



#### Permitted Districts

**CD-4**

**CD-5**

**CD-6**

#### General Description

A Building that consists of 9 - 12 units, typically with one or more shared entries.

#### Lot

**Width** Per District Lot/Building Site Width

#### Number of Units

**Units per Building** 9 min. - 12 max.

#### Allowed Private Frontages

Porch

Stoop

Forecourt

Terrace/Lightwell

#### Building Size and Massing

##### Height

Per District Height Standards

##### Width

Per District Lot/Building Site Width and Side Setback / Setback Area Standards

#### Pedestrian Access

Main Entrance Location Principal Frontage

# ARTICLE III: STANDARDS & REQUIREMENTS

## LARGE MULTI-FAMILY

### TABLE III.5.G.2 BUILDING TYPES SPECIFIC STANDARDS



#### Permitted Districts

**CD-5** | **CD-6**

#### General Description

A Building that consists of 13 or more units, typically with one or more shared entries.

#### Lot / Building Site

**Width** Per District Lot/Building Site Width

#### Number of Units

**Units per Building** 13 min.

#### Allowed Private Frontages

- Porch
- Stoop
- Forecourt
- Terrace/Lightwell

#### Building Size and Massing

##### Height

Per District Height Standards

##### Width

Per District Lot/Building Site Width and Side Setback / Setback Area Standards

#### Pedestrian Access

Main Entrance Location Principal Frontage

# ARTICLE III: STANDARDS & REQUIREMENTS

## LIVE/WORK

TABLE III.5.G.2 BUILDING TYPES  
SPECIFIC STANDARDS



### Permitted Districts

**CD-4** **CD-5** **CD-6**

#### General Description

A Building that consists of a flexible space used for artisan, studio, service, or retail Uses, and a residential unit above and/or behind. Both the flex space and the residential unit are internally connected. This type is appropriate for providing affordable and flexible Mixed Use space for incubating neighborhood-serving retail and service Uses, artists and other craftspeople.

#### Lot / Building Site

**Width** Per District Lot/Building Site Width

#### Number of Units

**Units per Building** 1 Residential unit per 1 flex space

#### Building Size and Massing

##### Height

Per District Height Standards

##### Width

25 ft min. - 50 ft max.

#### Pedestrian Access

Main Entrance Location Principal Frontage

#### Allowed Private Frontages

Stoop

Terrace/Lightwell

Shopfront

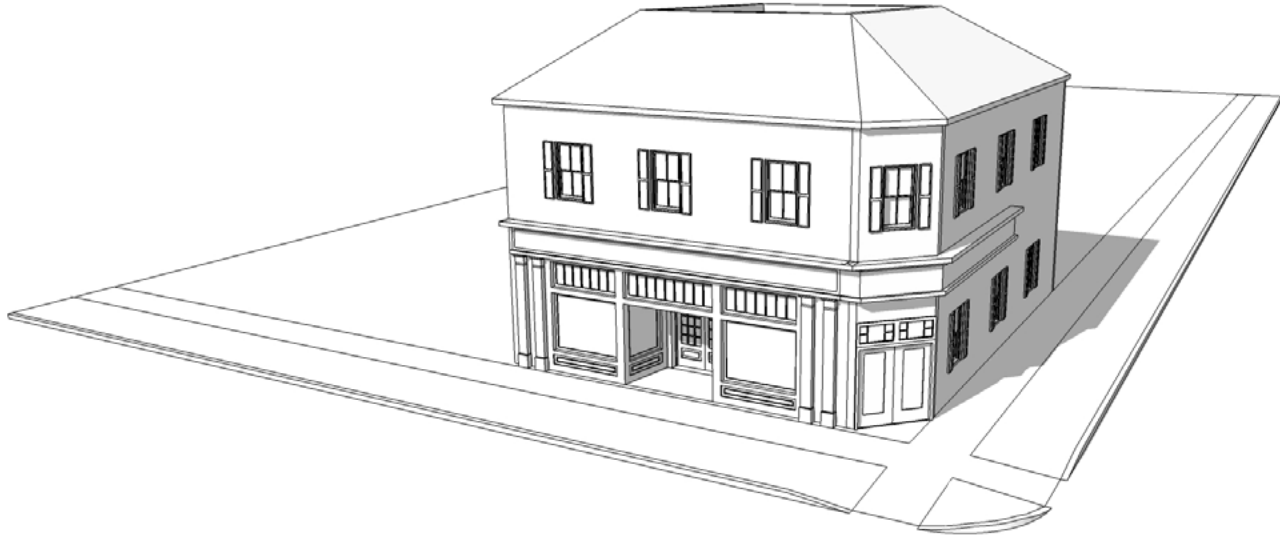
Commercial front



# ARTICLE III: STANDARDS & REQUIREMENTS

## MIXED USE

TABLE III.5.G.2 BUILDING TYPES  
SPECIFIC STANDARDS



### Permitted Districts

- CD-4
- CD-5
- CD-6

#### General Description

A Building that provides a vertical and/or horizontal mix of Uses typically designed to facilitate pedestrian-oriented retail, hospitality, service or office Uses on the ground floor, with upper floors typically designed for residential or Office Uses. A Mixed Use Building typically shares a party wall attached to an adjacent building on one or more sides.

#### Lot / Building Site

**Width** Per District Lot/Building Site Width

#### Number of Units

**Units per Building** 2 min.

#### Building Size and Massing

**Height**  
2 Stories min; 4 Stories max.

**Width**  
Per District Lot/Building Site Width and Side Setback Standards

#### Pedestrian Access

**Ground Floor Units** Principal Frontage  
**Upper Floors Units** Principal or Secondary Frontage  
Upper floors units must be accessed by a common entry

#### Allowed Private Frontages

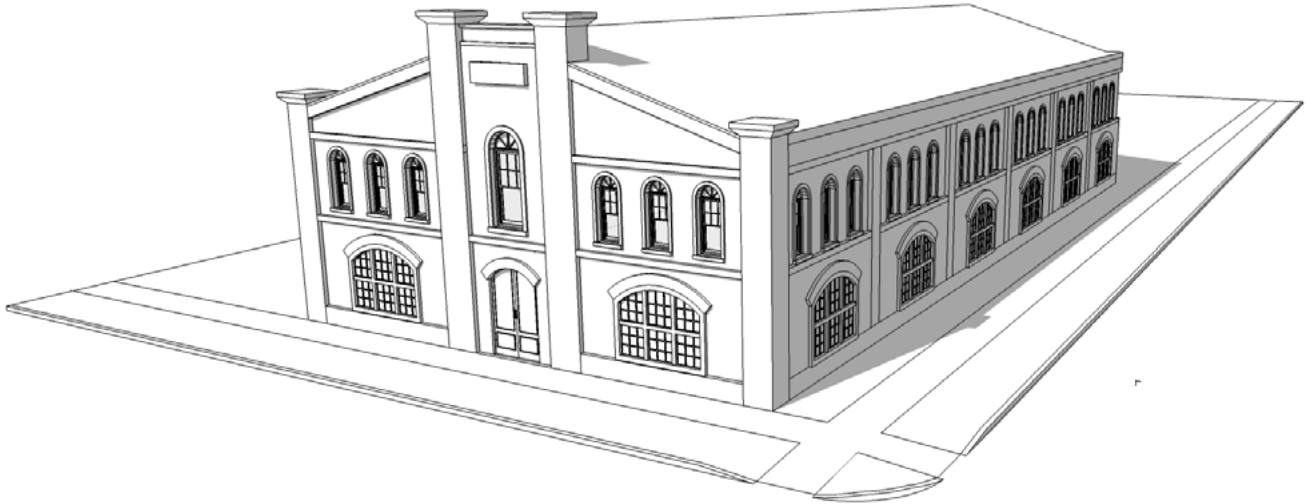
<b>Stoop</b>	<b>Commercial front</b>
<b>Terrace/Lightwell</b>	<b>Gallery<sup>1</sup></b>
<b>Shopfront</b>	<b>Arcade<sup>1</sup></b>

<sup>1</sup>May only be used in conjunction with a Shopfront or Commercial front Frontage type.

# ARTICLE III: STANDARDS & REQUIREMENTS

## FLEX

### TABLE III.5.G.2 BUILDING TYPES SPECIFIC STANDARDS



#### Permitted Districts

CD-4

CD-5

CD-6

#### General Description

A large footprint Building designed to accommodate a single Use or a vertical or horizontal mix of Uses.

#### Lot / Building Site

**Width** Per District Lot/Building Site Width

#### Number of Units

Not Regulated.

#### Allowed Private Frontages

**Stoop** Commercial front

**Forecourt** Gallery<sup>1</sup>

**Terrace/Lightwell** Arcade<sup>1</sup>

#### Shopfront

<sup>1</sup>May only be used in conjunction with a Shopfront or Commercial front Frontage type.

#### Building Size and Massing

##### Height

Minimum as prescribed for applicable Character District; 3 stories max.

##### Width

Per District Lot/Building Site Width and Side Setback Standards

#### Pedestrian Access

**Main Entrance Location** Principal Frontage

# ARTICLE III: STANDARDS & REQUIREMENTS

## MID-RISE

### TABLE III.5.G.2 BUILDING TYPES SPECIFIC STANDARDS



### Permitted Districts

**CD-5** | **CD-6**

#### General Description

A Building that may provide a vertical and/or horizontal mix of Uses, typically designed to facilitate a pedestrian-oriented streetfront. May contain retail, hospitality, service, office, or other commercial Uses on the ground floor. Upper floors typically designed for residential or Office Uses. A Mid-Rise Building may share a party wall attached to an adjacent building on one or more sides, or be free-standing.

#### Lot / Building Site

**Width** Per District Lot/Building Site Width

#### Number of Units

**Units per Building** 4 min.

#### Building Size and Massing

**Height**

4 Stories min.; 8 Stories max

**Width**

Per District Lot/Building Site Width and Side Setback Standards

#### Pedestrian Access

**Ground Floor Units** Principal Frontage

**Upper Floors Units** Principal or Secondary Frontage

Upper floors units must be accessed by a common entry

#### Allowed Private Frontages

**Stoop** Commercial front

**Terrace/Lightwell** Gallery<sup>1</sup>

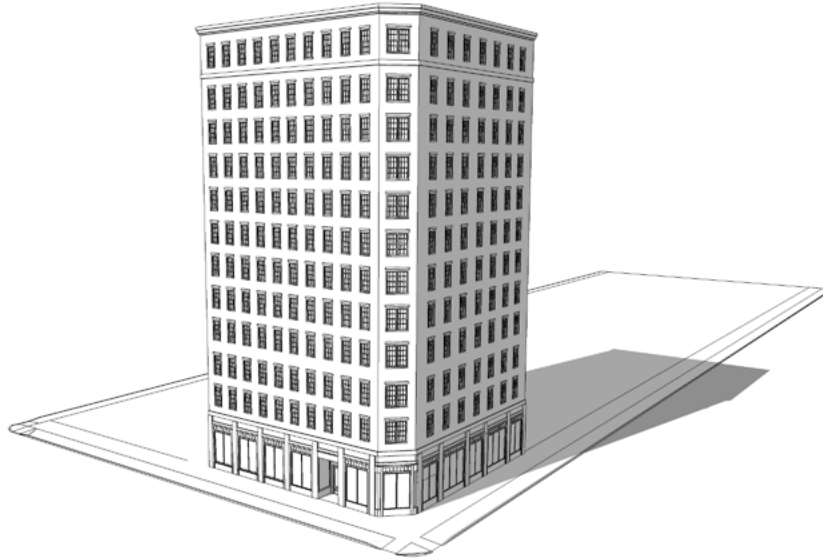
**Shopfront** Arcade<sup>1</sup>

<sup>1</sup>May only be used in conjunction with a Shopfront or Commercial front Frontage type.

# ARTICLE III: STANDARDS & REQUIREMENTS

## HIGH-RISE

TABLE III.5.G.2 BUILDING TYPES  
SPECIFIC STANDARDS



### Permitted Districts

#### CD-6

#### General Description

A Building that may provide a vertical and/or horizontal mix of Uses, typically designed to facilitate a pedestrian-oriented streetfront. May contain retail, hospitality, service, office, or other commercial Uses on the ground floor. Upper floors typically designed for commercial, Office, or residential Uses. A Mid-Rise Building may share a party wall attached to an adjacent shortert building, on one or more sides, or be free-standing.

#### Lot / Building Site

**Width** Per District Lot/Building Site Width

#### Number of Units

**Units per Building** 7 min.

#### Building Size and Massing

##### Height

7 Stories min.; 20 Stories max

##### Width

Per District Lot/Building Site Width and Side Setback Standards

#### Pedestrian Access

**Ground Floor Units** Principal Frontage

**Upper Floors Units** Principal or Secondary Frontage

Upper floors units must be accessed by a common entry

#### Allowed Private Frontages

**Stoop** **Gallery<sup>1</sup>**

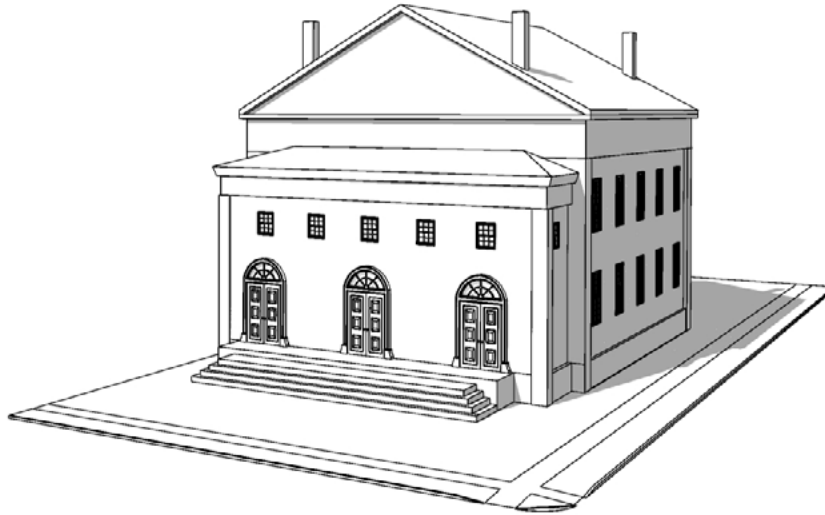
**Shopfront** **Arcade<sup>1</sup>**

#### Commercial front

<sup>1</sup>May only be used in conjunction with a Shopfront or Commercial front Frontage type.

# ARTICLE III: STANDARDS & REQUIREMENTS

## **Civic** TABLE III.5.G.2 BUILDING TYPES SPECIFIC STANDARDS



### Permitted Districts

**CD-4** **CD-5** **CD-6** **CV**

#### General Description

A medium to large sized attached or detached Building designed to stand apart from its surroundings due to the specialized nature of its public or quasi-public function for public assembly and activity. Examples include Libraries, Places of Worship, Places of Assembly, Courthouses, City Halls, schools, centers of government, Performing Arts Venues, and Museums. Civic Buildings are often the most prominently sited and architecturally significant Buildings in a community.

The design and form of Civic Buildings shall be determined after consultation with the Planning Department. If the building is a public building, after such consultation, the design and form of the building shall be subject to approval of the Planning Commission.

#### Lot / Building Site

Width N/A

#### Number of Units

N/A

#### Building Size and Massing

##### Height

The height of Civic Buildings shall be limited to 20 additional feet above the maximum allowed height in any Adjacent District.

##### Width

Not Regulated

#### Pedestrian Access

Except as specifically provided in this Chapter, Civic Buildings are not subject to the Building, Lot / Building Site or Private Frontage requirements of this Chapter.

# ARTICLE III: STANDARDS & REQUIREMENTS

## SECTION 6 ENCROACHMENTS.

Encroachments of Building Elements into a Setback shall be allowed within each Character District as set forth in **Table III.2.A (Character District Standards)**.

## SECTION 7 USES.

### A. Principal Uses.

1. Buildings and Lots in each Character District shall conform to the Principal Uses specified on **Table III.7.A (Permitted Principal Uses)**. Multiple Principal Uses may exist within a Building or Lot.
2. Buildings and Lots in each Civic Zone shall conform to the applicable Principal Uses specified or referenced in **Table III.7.A (Permitted Principal Uses)**.
3. Principal Uses are Permitted as of Right ("P"), Permitted by Special Exception ("PS"), or Not Permitted ("NP") within each District, in each case as indicated in **Table III.7.A**
4. Principal Uses which are indicated in **Table III.7.A (Permitted Principal Uses)** as Permitted ("P") or Permitted by Special Exception ("PS") are permitted within each District, subject to compliance with all applicable standards, conditions and requirements thereof and obtaining all applicable approvals and permits therefor, including without limitation in the case of Uses Permitted by Special Exception ("PS") Board of Zoning Appeals approval

### B. Accessory Uses

1. In each Character District and Civic Zone, all Accessory Uses that are subordinate and incidental to a Principal Use permitted in the applicable Character District or Civic Zone shall be permitted, provided that drive-through facilities are not permitted.

### C. Uses Not Listed

1. If a Use is proposed that is not listed on **Table III.7.A (Permitted Principal Uses)**, the Zoning Administrator shall determine if the Use is substantially similar to a Use listed and if to be substantially similar, the regulations of the similar Use shall be applied.
2. Except as otherwise determined by the Zoning Administrator, any Use that is not specifically listed in **Table III.7.A (Permitted Principal Uses)** is prohibited.

# ARTICLE III: STANDARDS & REQUIREMENTS

**TABLE III.7.A PERMITTED PRINCIPAL USES**

PRINCIPAL USE	CD-4	CD-5	CD-6	CV
<b>RESIDENTIAL</b>				
Multifamily	P	P	P	NP
Live/Work Unit	P	P	P	NP
Residential In Mixed Use	P	P	P	NP
Townhouse	P	P	NP	NP
Triplex, Fourplex	P	P	NP	NP
Duplex	P	NP	NP	NP
House	P	NP	NP	NP
<b>LODGING</b>				
Hotel (no room limit)	NP	P	P	NP
Inn (up to 12 rooms)	P	P	P	NP
Bed & Breakfast (up to 5 rooms)	P	P	P	NP
Single room only hostel	PS	PS	PS	NP
<b>OFFICE</b>				
General Office	P	P	P	PS
Live/Work Office Portion	P	P	P	NP
<b>RETAIL</b>				
Open-Market Building	P	P	P	NP
General Retail	P	P	P	NP
Display Gallery	P	P	P	NP
Restaurant	P	P	P	NP
Kiosk	P	P	P	NP
Liquor Selling Establishment	NP	PS	PS	NP
Adult Entertainment	NP	NP	PS	NP

**TABLE III.7.A PERMITTED PRINCIPAL USES**

PRINCIPAL USE	CD-4	CD-5	CD-6	CV
<b>CIVIC</b>				
Bus Shelter	P	P	P	P
Community Garden	P	P	P	P
Convention Center	NP	NP	PS	NP
Conference Center	P	PS	PS	NP
Green	P	NP	P	NP
Exhibition Center	NP	NP	PS	P
Fountain or Public Art	P	P	P	P
Library	P	P	P	P
Live Theater	NP	P	P	P
Movie Theater	NP	P	P	NP
Museum	NP	PS	P	P
Outdoor Auditorium	NP	P	P	P
Park	P	NP	NP	NP
Parking Structure	NP	P	P	P
Playground	P	P	P	P
Plaza	NP	P	P	P
Rail Station	P	P	P	P
Sports Field	P	NP	PS	P
Square	P	P	P	P
Surface Parking Lot	PS	PS	PS	P
Religious Assembly	P	P	P	P



# ARTICLE III: STANDARDS & REQUIREMENTS

**TABLE III.7.A PERMITTED PRINCIPAL USES**

PRINCIPAL USE	CD-4	CD-5	CD-6	CV
<b>AUTOMOTIVE</b>				
Gasoline Station	PS	PS	PS	NP
Automobile Service	NP	NP	NP	NP
Truck Maintenance	NP	NP	NP	NP
<b>CIVIL SUPPORT</b>				
Fire Station	P	P	P	P
Police Station	P	P	P	P
Cemetery	PS	NP	NP	P
Funeral Home	P	P	P	NP
Hospital	NP	PS	PS	NP
Medical Clinic	PS	P	P	NP
<b>EDUCATION</b>				
College	NP	PS	PS	PS
High School	PS	PS	PS	PS
Trade School	NP	PS	PS	NP
Elementary School	P	P	P	P
Other – Childcare Center	P	P	P	NP

**TABLE III.7.A PERMITTED PRINCIPAL USES**

PRINCIPAL USE	CD-4	CD-5	CD-6	CV
<b>INDUSTRIAL</b>				
Heavy Industrial Facility	NP	NP	NP	NP
Light Industrial Facility	NP	NP	NP	NP
Laboratory Facility	NP	NP	NP	NP
Water Supply Facility	NP	NP	NP	P
Sewer and Waste Facility	NP	NP	NP	NP
Electric Substation	PS	PS	PS	PS
Wireless Transmitter	NP	NP	NP	PS
Warehouse	NP	NP	NP	NP
Mini-Storage	NP	NP	NP	NP
<b>OTHER</b>				
Kennel	PS	PS	PS	NP

<b>LEGEND</b> The following notations are utilized in this table.	
<b>P</b>	Permitted as of Right
<b>PS</b>	Permitted by Special Exception
<b>NP</b>	Not Permitted
<b>NR</b>	Not Regulated

## **ARTICLE III: STANDARDS & REQUIREMENTS**

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# ARTICLE III: STANDARDS & REQUIREMENTS

## SECTION 8 PARKING.

### A. General.

Within each Character District, all Parking Areas, Parking Structures, Parking Lots, Garages, and other Parking accommodations shall be provided, located, designed, accessed, constructed, maintained, operated, and otherwise meet the standards and requirements specified for the applicable District in **Table III.2.A (Character District Standards)** and **Table III.8.B (Vehicular Parking Requirements)**.

### B. Parking Spaces Required.

1. Vehicular Parking shall be provided in accordance with this Section III.8 and shall comply with and be located in accordance with **Table III.2.A (Character District Standards)**.
2. Each Lot is required to provide the necessary parking to meet the requirements of **Table III.8.B (Vehicular Parking Requirements)**, less other parking available per Section III.8.E.3 or Parking Reductions per Section III.8.F.
3. The number of spaces of Parking available to a Lot is the sum of
  - a. All spaces within the Lot,
  - b. All spaces adjacent to any Frontage Line of the lot and on the same side of the Thoroughfare as the Lot, and
  - c. If elected by the Applicant, all spaces within the same or an Adjacent Block within a public Parking Lot or Parking Structure or by a recorded Parking agreement, or Easement.
4. Vehicle Parking Requirements shall be determined based on the quantity of Principal Use(s) of the Lot. Any fractional spaces shall be rounded down to the nearest whole number.

**TABLE III.8.B VEHICULAR PARKING REQUIREMENTS**

Principal Use Category	Number of Required Parking Spaces			
	CD-4	CD-5	CD-6	CV
Residential	.5 per Dwelling	.5 per Dwelling	.5 per Dwelling	NA
Lodging	1 per bedroom	1 per bedroom	1 per bedroom	NA
Office	1/1,000 sq ft	1/1,000 sq ft	1/1,000 sq ft	NA
Retail	2/1,000 sq ft	2/1,000 sq ft	2/1,000 sq ft	NA
Civic	To be determined by Special Exception			
Other	To be determined by Special Exception			

5. The number of spaces of Parking available to a Lot must not be less than, nor more than 10% greater than, the number of spaces of Parking determined by **Table III.8.B (Vehicular Parking Requirements)**, provided that the minimum number of spaces may be reduced pursuant to Section III.8..
6. In determining compliance with this Section III.8.B, the following shall not be counted:
  - a. Accessory Dwelling Units; and
  - b. Liner Buildings fewer than 30 feet deep and no more than two Stories.

# ARTICLE III: STANDARDS & REQUIREMENTS

## C. Parking Reductions.

For purposes of this Section III.8, the number of Parking spaces required to be available to a Lot may be reduced, at the election of the Applicant, as follows:

1. By dividing the number of spaces of Parking required to be available to the Lot by the applicable Shared Parking Factor. The applicable Shared Parking Factor is determined under **Table III.8.C.1 (Shared Parking Factor)** for any two Principal Uses within the Lot or within the Lot and any other Lot within the same or any Adjacent Block.

**TABLE III.8.C.1 SHARED PARKING FACTOR**

USE	with		USE
Residential			Residential
Lodging			Lodging
Office			Office
Retail			Retail

			1		
		1.1	1	1.1	
	1.4	1	1	1.4	
1.2	1.7	1.7	1.7	1.2	
	1.3	1	1.3		
	1.2	1.2			
		1			

2. The total number of parking spaces required

to be available to a Lot may be further reduced by the following percentages in accordance with the following, which may be applied in any combination:

- a. Proximity to Public Transit.

- (1) By seventy-five (75) percent if any portion of the Lot is within 500 feet of a Railroad Station;

- (2) By fifty (50) percent if any portion of the Lot is within ¼ mile of a Railroad Station;

- b. Bicycle Parking.

- (1) By one (1) parking space for every five (5) bicycle parking spaces provided on the Lot;

- (2) By five (5) parking spaces for every indoor bicycle parking storage area for ten (10) or more bicycles.

- c. Car-Sharing Parking Spaces.

- (1) By three (3) parking spaces for each car-sharing parking space available to the Lot, up to a maximum reduction of twelve (12).

## D. Parking Location.

1. Within each Character District, all Parking Areas, Parking Lots, Parking Structures, and Garages shall be located as specified for the applicable Character District in **Table III.2.A (Character District Standards)**.

2. Within each Civic Zone, all Parking Areas, Parking Lots, Parking Structures, and Garages shall be located as specified in **Table III.2.B (Civic Zone Standards)**.

## E. Vehicular Access.

1. Vehicular access to Parking Areas and Parking Lots shall be direct and not in conflict with general vehicular movement serving a site.

2. Parking locations shall be accessed by Alleys when such are available on the applicable Plan or otherwise available.

## F. Entrances & Exits.

Vehicular entrances and exits to Parking Areas, Parking Lots, and Parking Structures shall be designed to be easily identifiable by drivers and pedestrians. Any

# ARTICLE III: STANDARDS & REQUIREMENTS

signage shall be simple, clear, and concise. Any gates, arms, or booths shall be set back at least 20 feet from the Facades of Adjacent Buildings.

## G. Design.

Parking Lots shall be designed in accordance with applicable requirements of the **[City Zoning Code/ Ordinance]** and shall comply with the landscape provisions of Section III.10.AG.

Parking Structures shall comply with all applicable standards of **Table III.2.A (Character District Standards)**. In addition and not in limitation of the foregoing, Parking Structures:

- a. Shall not exceed the maximum Building Height applicable to Buildings within the applicable Character District or Civic Zone;
- b. Shall be set back from the public right of way a minimum of twenty four (24) feet; and
- c. Shall comply with the Screening and Liner Building requirements of Section III.8.H and Section III.8.K.

Lots on which Parking Structures are to be located and the standards for such Lots are subject to approval by the Governing Body.

## H. Screens and Screening.

Screens and Streetscreens shall comply with the standards and requirements of **Table III.2.A (Character District Standards)** or **Table III.2.B (Civic Zone Standards)**, as applicable.

## I. Driveway Width.

Driveways at Frontages shall be no wider in the First Layer than the width specified for the applicable Character District in **Table III.2.A (Character District Standards)**.

## J. Pedestrian Exits.

Pedestrian exits from all Parking Lots, Parking Areas, Garages, and Parking Structures shall conform to **Table**

**III.2.A (Character District Standards)**, except for underground parking accommodations.

## K. Liner Buildings Required.

All sides of a Parking Structure that face a Public Frontage shall be Enfronted by one or more Liner Buildings complying with all standards applicable in the Character District as set forth in **Table III.2.A (Character District Standards)** and **Table III.2.B (Civic Zone Standards)** and the following:

Liner Buildings shall:

1. Be at least as tall as the associated Parking Structure which they Screen; and
2. Have Shopfront Frontages at all Private Frontages

## SECTION 9

### LOADING, SERVICE, STORAGE, TRASH RECEPTACLE, EQUIPMENT, & OTHER ITEMS LOCATIONS & REQUIREMENTS.

#### A. General.

1. Within each Character District, trash receptacle and truck and bus, as applicable, loading space, shall be located and provided as specified for the applicable Character District in **Table III.2.A (Character District Standards)**.
2. Within each Civic Zone, trash receptacle and truck and bus, as applicable, loading space shall be located and provided as specified in **Table III.2.B (Civic Zone Standards)**.

#### B. Locations of Certain Items.

1. Within each Character District, all outdoor loading, storage, service, heating, ventilation and air-conditioning equipment, utility service meters and equipment, mechanical equipment, antennas and satellite equipment, solar panels, recreation, play, grilling, and clothes drying equipment, animal enclosures, runs, shelters, and equipment, and

# ARTICLE III: STANDARDS & REQUIREMENTS

swimming pool, hot tub and spa locations shall be as specified for the applicable Character District, as required in **Table III.2.A (Character District Standards)**.

2. Within each Civic Zone, all outdoor loading, storage, service, trash receptacle, heating, ventilation and air-conditioning equipment, utility service meters and equipment, mechanical equipment, antennas and satellite equipment, solar panels, recreation, play, grilling, and clothes drying equipment, animal enclosures, runs, shelters, and equipment, and swimming pool, hot tub and spa locations shall be as specified in **Table III.2.B (Civic Zone Standards)**.

## C. Vehicular Access.

Vehicular access to trash receptacle and loading space shall be direct and not in conflict with general vehicular movement serving a site.

Loading, service, storage, and trash receptacle locations shall be accessed by Alleys, when such are available on the applicable Plan or otherwise available.

## D. Entrances & Exits.

Vehicular entrances and exits shall be designed to be easily identifiable by drivers and pedestrians. Any signage shall be simple, clear, and concise. Any gates, arms, or booths shall be set back at least 20 feet from the Facades of Adjacent Buildings.

## SECTION 10

### PRIVATE & PUBLIC LANDSCAPING.

#### A. General

1. In Character Districts, Lots shall be landscaped in accordance with **Table III.2.A (Character District Standards)** and this Section III.10.

2. In Civic Zones, Lots shall be landscaped in accordance with **Table III.2.B (Civic Zone Standards)** and this Section III.10. Additionally, Civic Spaces shall be designed as set forth in **Table III.13.C.2 (Civic Space – Specific Standards)**.

3. All Public Landscaping shall comply with this Section III.10.

## B. Plant Materials.

Except as otherwise required by Sections III.10.E and III.10. G, all plant materials shall meet with the minimum container size, class and other requirements outlined in American Standards for Nursery Stock (ANSI Z60.1-2004) published by the American Nursery and Landscape Association (ANLA) or other local Nursery Association Standards.

## C. Placement of trees.

Proposed trees shall be placed minimally:

1. Three (3) feet from walkways, curbs and other impervious surfaces when planted in a continuous swale;
2. Ten (10) feet from street lights, underground utilities, utility meters and service lines, fences, walls and other ground level obstructions;
3. Six (6) feet from porch eaves, awnings and similar overhead obstructions associated with the ground level of Buildings; and
4. Eight (8) feet from balconies, verandas, Building eaves and cornices, and similar overhead obstructions associated with the upper stories of Buildings.

## D. Tree Size.

At installation, trees shall be a minimum height of ten (10) feet and three (3) inches in caliper.

## E. Placement of Shrubs.

Shrubs shall be placed minimally 18" from any sidewalk or pavement edge.

## F. Shrub Size.

At installation, Shrubs shall be a three (3) gallon container minimum and a 30 inches minimum growth height; provided that at installation, Shrubs within a Screening hedge shall be between 42 and 48 inches

# ARTICLE III: STANDARDS & REQUIREMENTS

growth height at a Frontage or Adjacent to a Civic Zone or between 60 and 72 inches growth height if not at a Frontage or Adjacent to a Civic Zone.

## G. Hazardous Landscape.

Ground vegetation or Shrub plantings with spines, thorns or needles that may present hazards to pedestrians, bicyclists or vehicles are prohibited in the first two (2) feet of the First Layer.

## H. Bare / Exposed Ground.

All bare or exposed ground on the site and/or in landscaped areas shall be covered with live plant materials and/or mulch, with the following exceptions:

1. Naturally occurring creek beds, rock outcroppings or similar landscape features typically lacking in vegetation.
2. Agricultural fields seasonally tilled for cultivation.
3. Hiking trails and/or traces.
4. Clay or sand surfaces associated with recreation fields and facilities.

## I. Artificial Plants / Turf.

Artificial plants and artificial turf are prohibited.

## J. Temporary Spray Irrigation.

Temporary spray irrigation systems may be used to establish seeded areas for grass and groundcover and native drought-tolerant landscape.

## K. Water Features.

Constructed water features such as fountains, streams and ponds that operate with water recirculation systems shall be designed to prevent seepage and leaks.

## L. Screens.

Screens shall be provided in accordance with **Table III.2.A (Character District Standards)**.

## M. Mitigation of Wind Erosion.

Wind erosion shall be mitigated and controlled through dust abatement and similar practices during the period of site work and construction.

## N. Compacted Soils.

Landscape soils that have been compacted during construction activities shall be loosened and aerated to a depth of at least six (6) inches before planting.

## O. Condition of Plants.

Plants shall have normal, well-developed branches and vigorous root systems.

## P. Maintenance.

In areas of naturally occurring vegetation and undergrowth, landscaped areas shall be maintained by the Owner as follows:

1. If fertilized, all grass and vegetation shall be lightly fertilized to avoid fertilizer pollution to groundwater, streams and ponds;
2. No disturbed ground shall be left exposed. Turfgrass and other approved and appropriate groundcover or mulch shall cover all non-paved and non-built areas;
3. Turfgrass lawns shall be kept properly mowed and edged, plants shall be kept properly pruned and disease-free, and planting beds shall be kept mulched, groomed and weeded; and
4. Any planting(s) required under this Section III.10, which are significantly damaged, removed, infested, disease ridden, or dead shall be replaced within one year or by the next planting season, whichever occurs first.

## Q. Planted trees.

Any planted trees shall be species allowed by the **[City Zoning Ordinance/Code]**.



# ARTICLE III: STANDARDS & REQUIREMENTS

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## R. Paving.

The First Layer shall not be paved, except for the following:

1. Driveways and
2. Pavement matching the adjoining Public Frontage in Character Districts CD-5 and CD-6 where the Building is set back no more than five feet (5') from the Front Lot Line.

## S. Trees Required.

Trees shall be provided in accordance with **Table III.2.A (Character District Standards)** and **Table III.2.B (Civic Zone Standards)**, as applicable.

## T. Lawns.

Lawns are allowed.

## U. Minimum Landscaped Area.

The minimum required landscaped area shall be as provided in **Table III.2.A (Character District Standards)** standards, and **Table III.2.B (Civic Zone Standards)**, as applicable.

## V. Preservation of Existing trees & Vegetation.

Preservation of on-site existing trees and vegetation is encouraged and may be used to fulfill the landscape requirements.

## W. Preservation of Root Zones.

The root zones of existing trees and vegetation to be preserved shall be preserved and protected from clearing or construction activities and shall be enclosed by a temporary protective fence.

## X. Natural / Naturalized Areas.

Natural or naturalized areas shall not require irrigation.

## Y. No Noxious or Invasive Species.

No noxious or invasive plant species shall be installed and all plants of such species shall be removed.

## Z. Existing Vegetation.

The size and limits of existing vegetation shall be indicated on the Site Plan and/or Development Plan, as applicable.

## AA. Significant Trees.

Priority shall be given to preserving and protecting significant trees that provide Screening, buffering, wildlife habitat and/or linkages to wildlife habitat.

## AB. Replacement of Trees.

Any mature tree that is removed from a site shall be replaced by the Owner with one or more trees of the same or similar species whose combined caliper dimensions equal that of the tree removed.

## AC. Open Space & Civic Space.

Open spaces and Civic Space shall remain fenced and protected during all Abutting Development work and construction activities unless alterations to them are otherwise specified by the Site Plan and/or Development Plan, as applicable.

## AD. Remediation of Compaction.

All landscape areas compacted during Development or construction activities shall be tilled and reconditioned to provide an arable topsoil layer that can support the long term health and vitality of landscaping.

## AE. Preservation of Topsoil.

The topsoil within the limits of disturbance of a Development or construction site shall be removed, stored and amended with organic soil additives as recommended by a landscape soils test prior to being redistributed in accordance with best landscape practices.

# ARTICLE III: STANDARDS & REQUIREMENTS

## AF. Parking Areas / Parking Lots.

Parking Areas and Parking Lots that contain more than nine (9) spaces shall conform to the following:

1. Parking Areas and Parking Lots shall contain one landscape island for every sixteen (16) parking spaces. Parking Lots with more than one landscape island shall have such islands distributed throughout the Parking Lot.
2. Each parking island shall be of a minimum size equal to a standard parking space; provided that each parking island Abutting two rows of head to head parking spaces shall be of a minimum size and length equal to 2 parking spaces.
3. Parking islands shall contain a minimum of one (1) tree for every single island. If a parking island is double length, then two (2) trees shall be required.
4. Root zones for existing trees to remain shall be a minimum of 48 square feet.
5. For every 2,000 square feet of Parking Area or Parking Lot, at least one tree shall be installed or preserved within the Parking Area or Parking Lot except to the extent that trees outside of the Lot containing the Parking Area or Parking Lot are allowed to satisfy this requirement as set forth below.
6. No parking space shall be more than seventy-two feet (72') from a tree within the Lot, as measured from the center of the tree to the nearest line demarcating the space.
7. Except for trees allowed to be counted outside the Parking Area or Parking Lot, new trees shall be installed and/or existing trees preserved in tree islands provided pursuant to this Section III.10.AG.7 and/or at the perimeter of the Parking Area or Parking Lot, provided that the perimeter of the Parking Area or Parking Lot where trees are installed or preserved to meet this requirement lie within the Lot on which the Parking Area or Parking Lot is located.

8. Trees that are outside of a Parking Area or Parking Lot, but which are located within 20 feet of the closest portion of such Parking Area or Parking Lot, including but not limited to trees within Thoroughfare Rights-of-Way and Civic Spaces, may be counted toward satisfying the requirements.

## AG. Visibility.

No standard set forth in this Section III.10 shall be enforced where the application of the standard would obstruct visibility within the Lot to such extent as to interfere with the safe movement of vehicles and pedestrians within the Lot.

## AH. Pedestrian Walkway.

In addition to any walkway or sidewalk around a Parking Area or Parking Lot, each Parking Area or Parking Lot that exceeds one hundred and twenty (120) spaces shall have least one pedestrian walkway of a minimum width of eight (8) feet that is paved differently from the parking spaces with respect to texture, material, style, and/or color.

## AI. Pervious Paving.

Porous paving materials are encouraged in order to increase storm water infiltration on site.

## SECTION 11 LIGHTING STANDARDS.

### A. Applicability

Development, re-Development, Lots, Buildings, Structures, and Improvements within Character Districts and Civic Zones, respectively, shall comply with the applicable standards and requirements of this Section.

1. The following are not regulated by this Ordinance:
  - a. Lighting within the public right-of-way or easement for the principal purpose of illuminating streets or roads as otherwise regulated by any applicable public way lighting ordinance.
  - b. Lighting for public monuments and statuary.

# ARTICLE III: STANDARDS & REQUIREMENTS

c. Lighting solely for signs, as otherwise regulated by the Sign Ordinance.

d. Repairs to existing luminaires not exceeding 25% of total installed luminaires.

e. Temporary lighting for theatrical, television, performance areas and construction sites.

f. Underwater lighting in swimming pools and other water features.

g. Temporary lighting and seasonal lighting provided that individual lamps are less than 10 watts and 70 lumens.

h. Lighting that is only used under emergency conditions.

i. In lighting zones 2 and 3, low voltage landscape lighting controlled by an automatic device that is set to turn the lights off at one hour after the site is closed to the public or at a time established by the authority.

**2.** All lighting shall follow provisions in this ordinance; however, any special requirements for lighting listed below shall take precedence.

a. Lighting specified or identified in a specific use permit.

b. Lighting required by federal, or state laws or regulations.

## B. Lighting Zones

The Lighting Zone shall determine the limitations for lighting as specified in this ordinance. The Lighting Zones shall be as follows:

**1.** Lighting Zone 2 (LZ-2). Areas of human activity where the vision of human residents and users is adapted to moderate light levels. Lighting may typically be used for safety and convenience but it is not necessarily uniform or continuous. After curfew, lighting may be extinguished or reduced as activity levels decline.

**2.** Lighting Zone 3 (LZ-3). Areas of human activity where the vision of human residents and users is adapted to moderately high light levels. Lighting is generally desired for safety, security and/or convenience and it is often uniform and/or continuous. After curfew, lighting may be extinguished or reduced in most areas as activity levels decline.

## C. General Requirements

**1.** All outdoor lighting shall be installed in conformance with the provisions of this Ordinance, applicable Electrical and Energy Codes, and applicable sections of the Building Code.

**2.** Luminaires shall be installed no higher than 30 feet in Non-Residential Parking Areas and Parking Lots or 15 feet in other areas.

**3.** Use of illuminated tubing or light strings outlining or defining property lines, sales areas, roof lines, doors, windows or similar areas or features in a manner that is not primarily for safety purposes, as determined by the Zoning Administrator, is prohibited. This paragraph shall not limit the use of lights illuminating outdoor dining or gathering areas.

## D. Lighting Controls

**1.** Automatic Switching Requirements. Controls shall be provided that automatically extinguish all outdoor lighting when sufficient daylight is available using a control device or systems such as a photoelectric switch, astronomic time switch or equivalent functions from a programmable lighting controller, building automation system or lighting energy management system, all with battery or similar backup power or device.

Exception: Automatic lighting controls are not required for the following:

a. Lighting under canopies.

b. Lighting for tunnels, parking garages, garage entrances, and similar conditions.

# ARTICLE III: STANDARDS & REQUIREMENTS

**2. Automatic Lighting Reduction Requirements.** The Authority shall establish curfew time(s) after which total outdoor lighting lumens shall be reduced by at least 30% or extinguished.

Exception: Lighting reductions are not required for any of the following:

- a. With the exception of landscape lighting for residential properties including multiple residential properties not having common areas.
- b. When the outdoor lighting consists of only one luminaire.
- c. Code required lighting for steps, stairs, walkways, and building entrances.
- d. When in the opinion of the Authority, lighting levels must be maintained.
- e. Motion activated lighting.
- f. Lighting governed by special use permit in which times of operation are specifically identified.
- g. Businesses that operate on a 24 hour basis.

## E. Non-Residential Properties

For all mixed-use properties, non-residential properties, and multi-family residential properties of nine units or more, all outdoor lighting shall comply either with this section.

- 1.** All outdoor lighting installations shall comply with the prescriptive requirements herein.
  - a. Exception: A project proposing complex lighting or requiring more flexibility in design may elect to follow and comply with Illuminating Engineering Society (IES) Model Lighting Ordinance’s Performance Method.
- 2.** All lighting shall be full cut-off, having no light emitted above 90°, except for accent lightings illuminating outdoor dining or gathering areas.

**Total Site Lumen Limit.** The total installed initial luminaire lumens of all lighting systems on the site shall not exceed the allowed total initial site lumens. The allowed total initial site lumens shall be determined using **Table III.11.E Maximum Allowed Backlight, Uplight, Glare.** For sites with existing lighting, existing lighting shall be included in the calculation of total installed lumens. The total installed initial luminaire lumens is calculated as the sum of the initial luminaire lumens for all luminaires.

**TABLE III.11.E.2 PERMITTED LUMENS PER SITE**

	LZ-2	LZ-3
Lumens per sf of hardscape area	2.5	5.0

**Limits to Off-Site Impacts.** All luminaires shall be rated and installed according to **Table III.11.E.3 Maximum Allowed Backlight, Uplight, Glare.**

**TABLE III.11.E MAXIMUM ALLOWED BACKLIGHT, UPLIGHT, GLARE**

	LZ-2	LZ-3
<b>BACKLIGHT</b>		
Luminaire is located >2x the mounting height from the property line	B4	B5
Luminaire is located 1 - 2x the mounting height from the property line	B3	B4
Luminaire is located 0.5 - 1x the mounting height from the property line	B2	B3
Luminaire is located <0.5x the mounting height from the property line	B0	B1

NOTE: When considering backlight, the luminaire must be mounted with the backlight portion oriented perpendicular and towards the property line of concern.

# ARTICLE III: STANDARDS & REQUIREMENTS

**TABLE III.11.E MAXIMUM ALLOWED BACKLIGHT, UPLIGHT, GLARE**

	LZ-2	LZ-3
<b>UPLIGHT</b>		
Allowed Uplight Rating	U2	U3
Allowed % light emission above 90° for street or Area lighting	0%	0%
<b>GLARE</b>		
Allowed Glare Rating*	G2	G3
*Any luminaire that cannot be mounted with its backlight perpendicular to any property line within 2x mounting height of the luminaire location shall meet the following reduced Allowed Glare Rating:		
Any luminaire positioned less than 2x mounting heights from any property line.	G0	G1
Any luminaire positioned less than 0.5x mounting heights to any property line.	G0	G0

3. A luminaire may be used if it complies with the maximum allowed B, U, and G ratings. Luminaires equipped with adjustable mounting devices permitting alteration of luminaire aiming in the field shall not be permitted.

4. For property lines that abut public walkways, bikeways, plazas, and parking lots, the property line may be considered to be 5 feet beyond the actual property line for purpose of determining compliance with this section. For property lines that abut public roadways and public transit corridors, the property line may be considered to be the centerline of the public roadway or public transit corridor for the purpose of determining compliance with this section. NOTE: This adjustment is relative to BUG rating allowances only and shall not be used to increase the lighting area of the site.

## F. Residential Properties

For residential properties including multi-family residential properties of up to 9 units, all outdoor luminaires shall comply with the allowed lumen output in Table III.11.F and all outdoor luminaires shall be fully shielded, except:

1. One partly shielded or unshielded luminaire is permitted at the main entry.
2. Other partly shielded or unshielded luminaires, in compliance with the maximum allowed lumens in Table III.11.F.
3. Landscape lighting and low voltage landscape lighting aimed away from adjacent properties so that direct glare is not visible from adjacent properties.
4. Shielded directional flood lighting aimed so that direct glare is not visible from adjacent properties.
5. Open flame gas lamps.
6. Lighting installed with a vacancy sensor, where the sensor extinguishes the lights no more than 15 minutes after the area is vacated.

**TABLE III.11.F MAXIMUM ALLOWED RESIDENTIAL LIGHTING LUMENS**

Luminaire Lumens by Application	LZ-2	LZ-3
Unshielded Luminaires, One main entry only	630	630
Each Unshielded Luminaire, excluding main entry	315	315
Each Fully Shielded Luminaire	1,260	1,260
Each Landscape Lighting	1,050	2,100
Each Low Voltage Landscape Lighting	525	525
Each Shielded Directional Flood Lighting	1,050	2,100
Luminaire lumens equals Initial Lamp Lumens for a lamp, multiplied by the number of lamps in the luminaire.		

# ARTICLE III: STANDARDS & REQUIREMENTS

## G. Lighting by Special Permit Only

**1.** High-Intensity and Special Purpose Lighting. The following lighting systems are prohibited from being installed or used except by special use permit:

- a. Temporary lighting in which any single luminaire exceeds 20,000 initial luminaire lumens or the total lighting load exceeds 160,000 lumens.
- b. Aerial Lasers.
- c. Searchlights.
- d. Other very intense lighting defined as having a light source exceeding 200,000 initial luminaire lumens or an intensity in any direction of more than 2,000,000 candelas.

**2.** Complex and Non-Conforming Uses. Upon special permit issued by the Authority, lighting not complying with the technical requirements of this ordinance but consistent with its intent may be installed for complex sites or uses or special uses including, but not limited to, the following applications:

- a. Sports facilities, including but not limited to unconditioned rinks, open courts, fields, and stadiums.
- b. Construction lighting.
- c. Lighting for industrial sites having special requirements, such as petrochemical manufacturing or storage, shipping piers, etc.
- d. Parking structures.
- e. Urban parks
- f. Ornamental and architectural lighting of bridges, public monuments, statuary and public buildings.
- g. Theme and amusement parks.
- h. Correctional facilities.

**3.** To obtain such a permit, applicants shall demonstrate that the proposed lighting installation:

a. Has sustained every reasonable effort to mitigate the effects of light on the environment and surrounding properties, supported by a signed statement describing the mitigation measures. Such statement shall be accompanied by the calculations required for the Illuminating Engineering Society (IES) Model Lighting Ordinance's Performance Method.

b. Employs lighting controls to reduce lighting at a Project Specific Curfew ") time to be established in the Permit.

c. Complies with the Performance Method after Curfew.

**4.** The Authority shall review each such application. A permit may be granted if, upon review, the Authority believes that the proposed lighting will not create unwarranted glare, sky glow, or light trespass.

## H. Existing Lighting

Lighting installed prior to the effective date of this ordinance shall comply with the following.

**1.** New Uses or Structures, or Change of Use. Whenever there is a new use of a property (zoning or variance change) or the use on the property is changed, all outdoor lighting on the property shall be brought into compliance with this Ordinance before the new or changed use commences.

**2.** Additions or Alterations.

a. Major Additions. If a major addition occurs on a property, lighting for the entire property shall comply with the requirements of this Code. For purposes of this section, the following are considered to be major additions

Additions of 25 percent or more in terms of additional dwelling units, gross floor area, seating capacity, or parking spaces, either with a single addition or with cumulative additions after the effective date of this Ordinance.



# ARTICLE III: STANDARDS & REQUIREMENTS

Single or cumulative additions, modification or replacement of 25 percent or more of installed outdoor lighting luminaires existing as of the effective date of this Ordinance.

b. Minor Modifications, Additions, or New Lighting Fixtures for Non-residential and Multiple Dwellings. For non-residential and multiple dwellings, all additions, modifications, or replacement of more than 25 percent of outdoor lighting fixtures existing as of the effective date of this Ordinance shall require the submission of a complete inventory and site plan detailing all existing and any proposed new outdoor lighting.

c. Any new lighting shall meet the requirements of this Ordinance.

3. Resumption of Use after Abandonment. If a property with non-conforming lighting is abandoned for a period of six months or more, then all outdoor lighting shall be brought into compliance with this Ordinance before any further use of the property occurs.

## SECTION 12 PUBLIC FRONTAGE.

### A. Character & Elements.

The Public Frontage shall contribute to the character of the area, and shall include the types of Sidewalk, Curb, Planter, Thoroughfare trees, and street lights, allocated within and designed in accordance with applicable Thoroughfare design standards.

### B. Civic Zones.

Within Civic Zones, the Public Frontage shall comply with the Public Frontage standards applicable to any Adjacent Character District.

## SECTION 13 CIVIC ZONES, CIVIC SPACES, & CIVIC BUILDINGS.

### A. Assignment.

Civic Spaces, Civic Buildings and Civic Zones shall be assigned according to Section III.13.B.

### B. Civic Space Required

Each Development Site of 10 or more gross acres shall include at least 5% but not more than 20% of its gross acreage assigned as Civic Space(s). Civic Space(s) shall be located within Civic Zones.

### C. Civic Zone Standards

1. All Lots, Development, Buildings, Structures and Improvements within Civic Zones must conform to and shall be designed as generally described in **Table III.2.B (Civic Zone Standards)**, **Table III.13.C.1 (Civic Space Types – Summary)** and **Table III.13.C.2 (Civic Space – Specific Standards)**; provided that any Civic Building shall be located within or Abutting a Civic Space, or at the axial termination of a significant Thoroughfare and the particulars of the design of each Civic Building shall be determined by the Governing Body.

2. Except for Playgrounds, Civic Spaces shall have a minimum of 50% of its perimeter Enfronting a Thoroughfare.




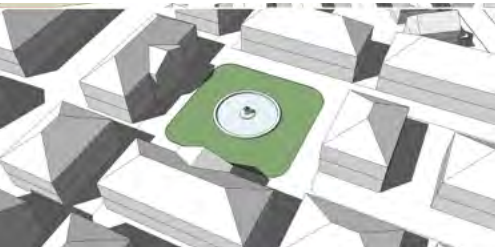
### D. Reservation for Civic Purposes

Civic Buildings and Civic Spaces shall be permanently reserved for Civic purposes.







# ARTICLE III: STANDARDS & REQUIREMENTS

**TABLE III.13.C.1 CIVIC SPACE TYPES – SUMMARY**

Civic Space Type	Illustration	Permitted In / Adjacent to Districts
<p><b>Park</b> A natural preserve available for unstructured recreation. A park may be independent of surrounding Building Frontages. Its landscape shall consist of Paths and trails, meadows, waterbodies, woodland and open shelters, all naturalistically disposed. Parks may be lineal, following the trajectories of natural corridors. The minimum size shall be 8 acres.</p>		<p>CD-4 CV</p>
<p><b>Green</b> An Open Space, available for unstructured recreation. A Green may be spatially defined by landscaping rather than Building Frontages. Its landscape shall consist of lawn and trees, naturalistically disposed. The minimum size shall be 1/2 acre and the maximum shall be 8 acres.</p>		<p>CD-4 CD-5 CV</p>
<p><b>Square</b> An Open Space available for unstructured recreation and Civic purposes. A Square is spatially defined by Building Frontages. Its landscape shall consist of paths, lawns and trees, formally disposed. Squares shall be located at the intersection of important Thoroughfares. The minimum size shall be 1/2 acre and the maximum shall be 5 acres.</p>		<p>CD-4 CD-5 CD-6 CV</p>
<p><b>Plaza</b> An Open Space available for Civic purposes and Commercial activities. A Plaza shall be spatially defined by Building Frontages. Its landscape shall consist primarily of pavement. trees are optional. Plazas should be located at the intersection of important Thoroughfares. The minimum size shall be 1/2 acre and the maximum shall be 2 acres.</p>		<p>CD-4 CD-5 CD-6 CV</p>

# ARTICLE III: STANDARDS & REQUIREMENTS

**TABLE III.13.C.1 CIVIC SPACE TYPES – SUMMARY**

Civic Space Type (continued)	Illustration	Permitted In / Adjacent to Districts
<p><b>Playground</b></p> <p>An Open Space designed and equipped for the recreation of children. A Playground should be fenced and may include an open shelter. Playgrounds shall be interspersed within Residential areas and may be placed within a Block. Playgrounds may be included within parks and greens. There shall be no minimum or maximum size.</p>		<p>CD-4 CD-5 CD-6</p> <p>CV</p>
<p><b>Sport Field</b></p> <p>An open area designed and equipped for team sports activities.</p>		<p>CV</p>
<p><b>Community Garden</b></p> <p>A grouping of garden plots available for small-scale cultivation, generally to residents without private gardens. Community gardens should be fenced and accommodate individual storage sheds. Running water is required. Community Gardens shall be interspersed within Residential areas and may be placed within a Block or included within Parks and Greens. There shall be no minimum or maximum size.</p>		<p>CD-4 CD-5 CD-6</p> <p>CV</p>
<p><b>Pocket Park</b></p> <p>A small predominantly green open area available for unstructured passive recreation.</p>		<p>CD-4 CD-5 CD-6</p> <p>CV</p>

# ARTICLE III: STANDARDS & REQUIREMENTS

TABLE III.13.C.2 CIVIC SPACE – SPECIFIC STANDARDS



## Park

## Green

### Permitted In / Adjacent to:

### Permitted In / Adjacent to:

**CD-4 CV**

**CD-4 CD-5 CV**

### Intent

A natural area available for unstructured recreation. A natural area may be independent of surrounding Building Frontages. Its landscape shall consist of Paths and trails, meadows, waterbodies, woodland and open shelters, all naturalistically disposed. Natural areas may be lineal, following the trajectories of natural corridors. The minimum size is 8 acres.

### Intent

An open area, available for unstructured recreation. A Green may be spatially defined by landscaping rather than Building Frontages. Its landscape shall consist of lawn and trees, naturalistically disposed. The minimum size is 0.5 acre and the maximum is 8 acres.

### Specifications

### Specifications

**Size** 8 ac min.

**Size** 0.5 ac min., 8 ac max.

**Frontage** Not Regulated

**Frontage** Independent

**Character** Natural

**Character** Informal

### Typical Facilities

- Passive and active recreation
- Recreational and community facilities
- Playgrounds and play structures
- Paths and trails
- Accessory structures

### Typical Facilities

- Passive and active recreation
- Playgrounds and play structures
- Paths and trails
- Accessory structures

# ARTICLE III: STANDARDS & REQUIREMENTS

**TABLE III.13.C.2 CIVIC SPACE – SPECIFIC STANDARDS**



**Permitted In / Adjacent to:**

**CD-4 CD-5 CD-6 CV**

Intent	
An open area available for unstructured recreation and Civic purposes. A Square is spatially defined by Building Frontages. Its landscape shall consist of paths, lawns and trees, formally disposed. Squares shall be located at the intersection of important Thoroughfares. The minimum size is 0.5 acre and the maximum is 5 acres.	
Specifications	
Size	0.5 acres min., 5 acres max.
Frontage	Buildings
Character	Formal
Typical Facilities	
<ul style="list-style-type: none"> <li>• Passive recreation</li> <li>• Paths</li> <li>• Accessory structures</li> </ul>	



**Permitted In / Adjacent to:**

**CD-4 CD-5 CD-6 CV**

Intent	
An open area available for Civic purposes. A Plaza shall be spatially defined by Building Frontages. Its landscape shall consist primarily of pavement. Trees are optional. Plazas shall be located at the intersection of important Thoroughfares. The minimum size is 0.5 acre and the maximum is 2 acres.	
Specifications	
Size	0.5 ac min. 2 ac max.
Frontage	Buildings
Character	Formal
Typical Facilities	
<ul style="list-style-type: none"> <li>• Passive recreation</li> <li>• Paths</li> <li>• Accessory structures</li> <li>• Water features</li> </ul>	



# ARTICLE III: STANDARDS & REQUIREMENTS

TABLE III.13.C.2 CIVIC SPACE – SPECIFIC STANDARDS

## Playground



**Permitted In / Adjacent to:**

**CD-4 CD-5 CD-6 CV**

### Intent

An open area designed and equipped for the recreation of children. A Playground may include an open shelter. Playgrounds shall be interspersed within Residential areas and may be placed within a Block. Playgrounds may be included within Natural Areas and Greens. There is no minimum or maximum size.

### Specifications

Size	No min. No max.
Frontage	Buildings
Character	Formal or Informal

### Typical Facilities

- Active recreation
- Play structures
- Paths
- Water features

## Sport Field



**Permitted In / Adjacent to:**

**CV**

### Intent

An open area designed and equipped for team sports activities.

### Specifications

Size	No min. No max.
Frontage	Buildings
Character	Formal

### Typical Facilities

- Active recreation
- Play structures

# ARTICLE III: STANDARDS & REQUIREMENTS

**TABLE III.13.C.2 CIVIC SPACE – SPECIFIC STANDARDS**

## Community Garden



**Permitted In / Adjacent to:**

**CD-4 CD-5 CD-6 CV**

### Intent

A grouping of garden plots available for small-scale cultivation, generally to residents without private gardens. Community gardens should be fenced and accommodate individual storage sheds. Running water is required. Community Gardens shall be interspersed within Residential areas and may be placed within a Block or included within Natural Areas and Greens. There is no minimum or maximum size.

### Specifications

<b>Size</b>	No min. No max.
<b>Frontage</b>	May be enfronted by Buildings or be located behind Buildings
<b>Character</b>	Formal

### Typical Facilities

- Active recreation
- Garden plots
- Accessory structures
- Running water

## Pocket Park



**Permitted In / Adjacent to:**

**CD-4 CD-5 CD-6 CV**

### Intent

A small predominantly green open area available for unstructured passive recreation.

### Specifications

<b>Size</b>	500 sq. ft. min. 0.5 acres max.
<b>Frontage</b>	Independent
<b>Character</b>	Formal

### Typical Facilities

- Passive recreation
- Community gardens
- Playgrounds and play Structures
- Paths and trails
- Limited transient commercial concessions

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# ARTICLE IV: DEFINITIONS

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This Article IV provides definitions for certain capitalized terms used in this Character-Based Code. Other capitalized terms are defined within the text of this Character-Based Code:

## A

**Accessory Building:** a Building that shares a Lot or Building Site with a Principal Building and that is customarily and clearly incidental and subordinate to the Principal Building. An Accessory Building may or may not have an Accessory Unit or be occupied or devoted to one or more Accessory Uses. An Accessory Building may or may not be attached to the Principal Building.

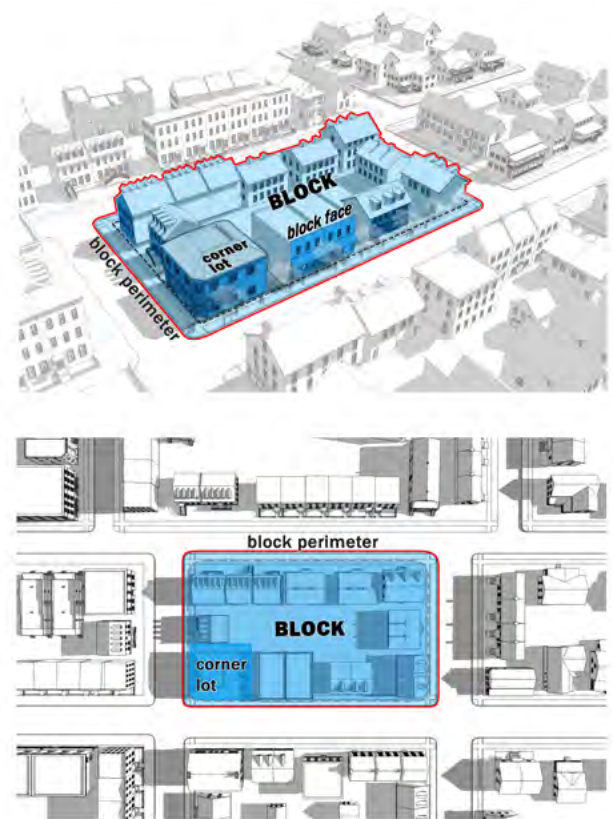
**Adjacent:** having any distance of real property boundary in common with another property, or being separated from the other property boundary by a right-of-way, Thoroughfare, Internal Drive, Alley, Easement, or Civic Space. Not synonymous with Abutting.

**Automotive Uses:** a term collectively referring to gasoline stations, automobile service, truck maintenance, and roadside stands.

## B

**Block:** the aggregate of private Lots, Passages, Rear Alleys and Rear Lanes, circumscribed by Thoroughfares, or where applicable, circumscribed by Thoroughfares, Civic Space, and/or **water bodies**.

## ILLUSTRATION IV.B BLOCK



**Building Element:** any component or part of a Building.

## C

**Civic:** the term describing activities, Uses, purposes and governmental or not-for-profit organizations that are dedicated to arts, culture, education, religion, recreation, government, transit, municipal parking, gardening, horticulture, public gathering, assembly or meeting.



## ARTICLE IV: DEFINITIONS

**Civic Building (CB):** a Building operated by a not-for-profit organization or governmental entity dedicated to Civic activities, Uses, and purposes.

**Civic Space (CS):** defined in Article III, Section 1 of this Character-Based Code. See **Table III.13.C.1 (Civic Space Types – Summary)**.

**Civic Zone (CZ):** defined in Article III, Section 1 of this Character-Based Code.

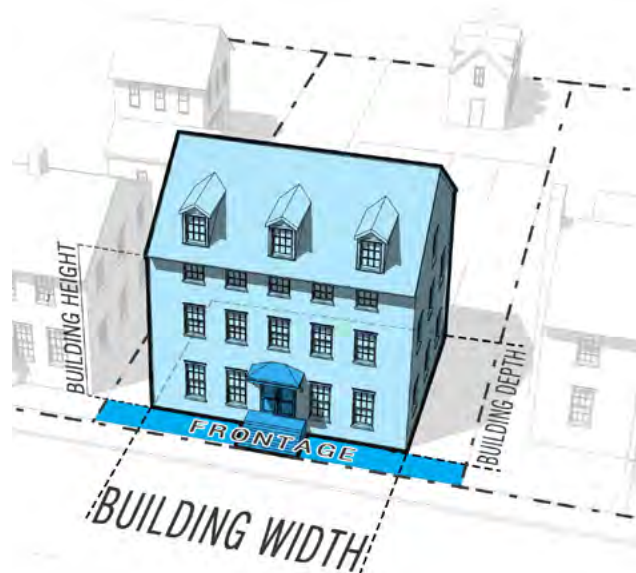
**Civil Support:** Use category collectively referring to the Uses listed as such in **Table III.7.A (Permitted Principal Uses)**.

**Character District:** defined in Article III, Section 1 of this Character-Based Code. See **Table II.1.D (Character District Descriptions)**.

**Common Destination:** an area of focused community activity, usually defining the approximate center of a Pedestrian Shed. It may include without limitation one or more of the following: a Civic Space, a Civic Building, a Commercial center, or a Transit Station, and may act as the social center of a neighborhood.

**Configuration:** the form of a Building, including its massing, Private Frontage, and height.

### ILLUSTRATION IV.C CONFIGURATION



**Corridor:** a lineal geographic system incorporating a Thoroughfare, **Green way**, or Open Space.

**Curb:** the edge of the vehicular pavement that may be either raised or flush with a swale to the extent allowed applicable Thoroughfare design regulations. It usually incorporates or is associated with the drainage system.

### D

**Deck:** an approximately horizontal, exterior floor-like platform Structure extending along or over one or more parts of a Building, which Structure may be covered or uncovered and enclosed or open excluding, however, a Porch.

**Development:** commencing, making or planning for man-made changes to land or other real property, and the resulting changes to such land or other real property, whether through Development, re-Development, clearing, excavation, grading, construction, re-construction, modification, subdivision, or re-subdivision, and whether such changes are horizontal, vertical, or subterranean.

# ARTICLE IV: DEFINITIONS

**Development Site:** a parcel or land, which either alone or together with one or more other parcels under a common Development scheme, program or plan, is Developed or proposed to be Developed.

**Driveway:** a vehicular lane within a Lot, often leading to a Garage.

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## E

**Edge-yard:** the yard type that results from a Building being set back from its Lot boundaries at the front, rear, and both sides.

**Education or Educational:** a Use category characterized by the process of receiving or giving instruction.

**Elevation:** as related to the exterior walls of a Building, one that is not along a Frontage Line; when not capitalized, “elevation” means the height above a given level or a drawing or design that represents an object or Structure as being projected geometrically on a vertical plane parallel to one of its sides, as the context indicates. See also Facade.

**Encroach:** to break the plane of a vertical or horizontal regulatory limit (e.g. a Setback, the Public Frontage, a right-of-way, a height limit, or a property line) with a structural element.

**Encroachment:** the condition wherein the plane of a vertical or horizontal regulatory limit (e.g. a Setback, the Public Frontage, a right-of-way, a height limit, or a property line) is broken with a structural element.

**Enfront:** to place, or the location of, an element along a Frontage, as in “porches Enfront the street.”

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## F

**Facade:** an exterior wall of a Building that is set along a Frontage Line. See **Illustration III.8.B (Frontage and Lot**

**Lines).** Facades define the public realm and are therefore more regulated than the Elevations facing other Lot Lines.

**Frontage:** the area between a Facade and a Path, Passage, **water body**, Civic Space, or the curb (or if there is no curb, the edge) of the Vehicular Lanes of a Thoroughfare, inclusive of the built and planted components of such area. Frontage is divided into Private Frontage and Public Frontage. See **Illustration IV.P3 (Private Frontage)**, **Illustration IV.P4 (Public Frontage)**, and **Table III.5.A (Private Frontage Types)**.

**Frontage Line:** a Lot Line bordering a Public Frontage.

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## G

**Green:** a Civic Space type for unstructured recreation, spatially defined by landscaping rather than Building Frontages. See **Table III.13.C.1 (Civic Space Types – Summary)** and **Table III.13.C.2 (Civic Space – Specific Standards)**.

**Governing Body:** the elected legislative body of the City.

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## H

**House:** See **Table III.5.G.2 (Building Types – Specific Standards)**.

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## I

**Industrial Uses:** a category of Uses characterized by manufacturing, re-manufacturing, processing, fabricating, creating, producing, packaging, converting, altering, assembling, handling, storing, stockpiling, sorting, recycling, treating, disposing of, wholesaling, warehousing, and distributing materials, products, or information, research and development, trucking, shipping, and transportation Business, repairing and maintaining commercial machinery or equipment, and waste management;

## ARTICLE IV: DEFINITIONS

**Impervious Surface:** that portion of a Lot or Development site, as applicable, covered with Buildings, asphalt, or concrete paving or hard-packed, prepared, graveled surfaces that prevent or restrict absorption of rain or surface water into the ground. If a Lot, Building Site, or Development site, as applicable, is located in more than one District, the Impervious Surface Coverage shall be separately computed for each District and no Impervious Surface Coverage may be transferred between Districts.

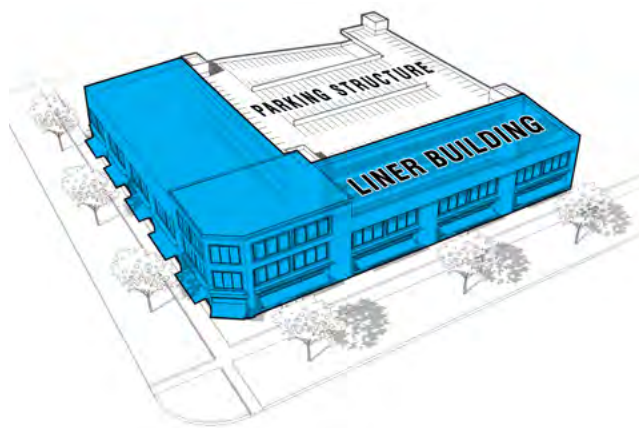
**Improvement:** any man-made alteration of land, a Lot, a Building or a Structure.

### L

**Linear Pedestrian Shed:** a Pedestrian Shed that is elongated along an important Corridor. A Linear Pedestrian Shed extends approximately 1/4 mile from each side of the Corridor. The resulting area is oblong. (Syn: elongated pedestrian shed). See **Illustration I.12.C (Linear Pedestrian Shed)**.

**Liner Building:** a Building that is at least 20 feet deep, measured from the Facade, which masks a Parking Lot or a Parking Structure from the Frontage.

#### ILLUSTRATION IV.L1 LINER BUILDING



**Live-Work:** See **Table III.5.H (Building Types)**.

**Lodging:** a Use category characterized by premises available for daily or weekly renting of bedrooms for periods of less than 30 days.

**Lot:** a tract, plot or other parcel of land, or portion thereof, intended as a unit for the purpose, whether immediate or future, of transfer of ownership or for one or more Buildings.

**Lot Coverage:** the percentage which the total area of Impervious Surfaces within a Lot bears to the total area of the Lot (a ratio of total Impervious Surfaces area to total Lot area).

**Layer:** a range of depth of a Lot within which certain elements are permitted. See **Illustration III.3.A (Layers)**.

The terms First Layer, Second Layer, and Third Layer shall have the following meanings:

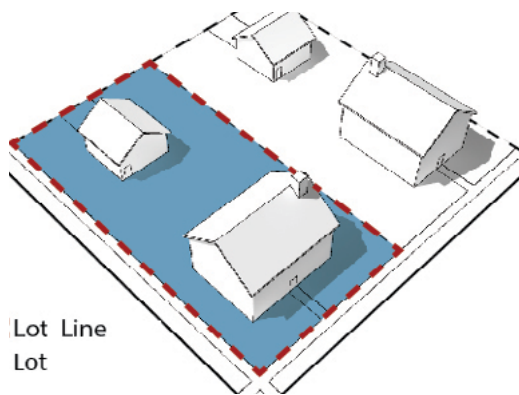
**First Layer:** the portion of a Lot between the Frontage Line and the line of the Building Facade furthest from the Frontage Line.

**Second Layer:** the portion of a Lot between (a) the line of the First Layer which is parallel to and farthest from the Frontage Line and (b) a line which is parallel to and 20 feet from the line described in clause (a). With respect to a Secondary Frontage, the Second Layer and the Third Layer are combined to comprise all parts of the Lot which are not within the First Layer.

**Third Layer:** the portion of a Lot between (a) the rear lot line and (b) the line of the Second Layer which is parallel to and farthest from the Frontage Line. With respect to a Secondary Frontage, the Second Layer and the Third Layer are combined to comprise all parts of the Lot which are not within the First Layer.

**Lot Line:** the boundary that legally and geometrically demarcates a Lot.

## ILLUSTRATION IV.L2 LOT LINE



## M

**Mixed Use:** multiple Uses within the same Building or on the same Lot through superimposition or Adjacency, or in multiple Buildings or on multiple Lots by Adjacency or proximity.

## N

**NICTD:** the Northern Indiana Commuter Transportation District.

## O

**Office Uses:** a Use category characterized by premises available for the transaction of commercial, governmental, professional, medical, dental, not-for profit, or financial services.

**Open Space:** Use characterized by large expanses of land.

**Outdoor Storage:** one or more assemblages, collections, stacks, or stockpiles of vehicles, equipment, goods, materials, tanks, or other items in any area other than within a Building, including without limitation, parked operative or non-operative vehicles or equipment.

## P

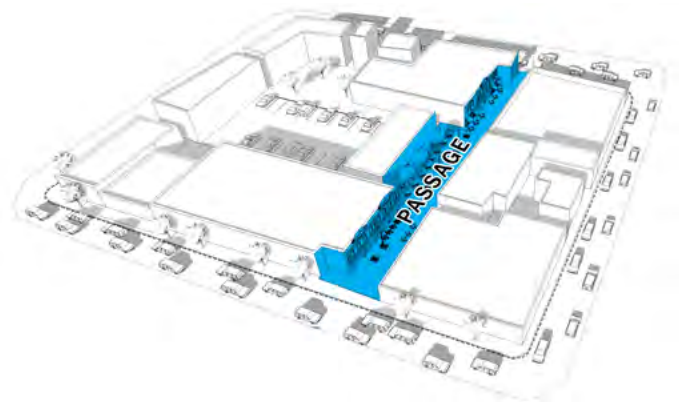
**Parking Area:** an off-street, ground-level open area for parking vehicles as an Accessory Use incidental to a Principal Use. Not synonymous with Parking Lot.

**Parking Lot:** an off-street, ground-level open area for parking vehicles as a Principal Use. Not synonymous with Parking Area.

**Parking Structure:** a vertical Improvement containing one or more levels of vehicular parking above grade.

**Passage:** a pedestrian connector, open or roofed, which passes between Buildings to provide shortcuts through long Blocks and connect rear Parking accommodations to Frontages.

## ILLUSTRATION IV.P1 PASSAGE



**Path:** a pedestrian way traversing a Park or rural area, with landscape matching the contiguous Open Space, ideally connecting directly with the urban Sidewalk network.

**Pedestrian Shed:** an area of a size approximately equal to the average distance comfortably walked by pedestrians and approximately centered on a Common Destination. There are two types of Pedestrian Sheds: Standard Pedestrian Sheds and Linear Pedestrian Sheds. See Standard Pedestrian Shed or Linear Pedestrian Shed. See **Illustration I.12.B (Standard Pedestrian Shed)** and

# ARTICLE IV: DEFINITIONS

## Illustration I.12.C (Linear Pedestrian Shed).

**Placement:** the manner in which a Building is situated on its Lot. See **Illustration III.4.A (Setback Designations)**, **Illustration III.3.A (Layers)**, and **Illustration III.4.B (Principal Building /Accessory Building)**.

**Planter:** the element of the Public Frontage which accommodates Thoroughfare trees, whether continuous or individual, including without limitation, a planting strip.

**Plaza:** a Civic Space type designed for Civic and Commercial purposes, Uses and activities, generally paved and spatially defined by Building Frontages.

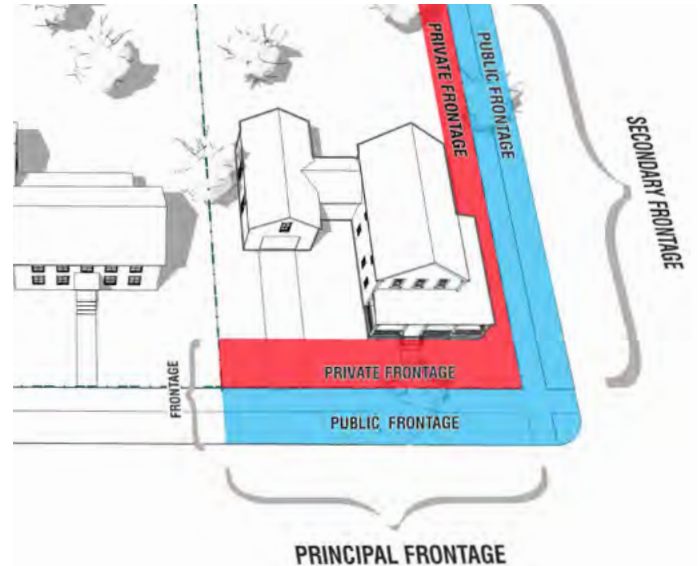
**Porch:** a roofed appendage to a Building, forming a covered approach to an entry, projecting in front of such entry across all or a portion of the Facade.

**Principal Entrance:** the main point of access for pedestrians into a Building.

**Principal Frontage:** with respect to:

- (a) corner Lots, the Private Frontage designated to bear the address and Principal Entrance to the Building, and the measure of minimum Lot width. For corner Lots, prescriptions for the location of parking in certain Layers pertain only to the Principal Frontage and prescriptions for the First Layer pertain to both Frontages of a corner Lot;
- (b) non-corner Lots, Principal Frontage is synonymous with Frontage. See Frontage.

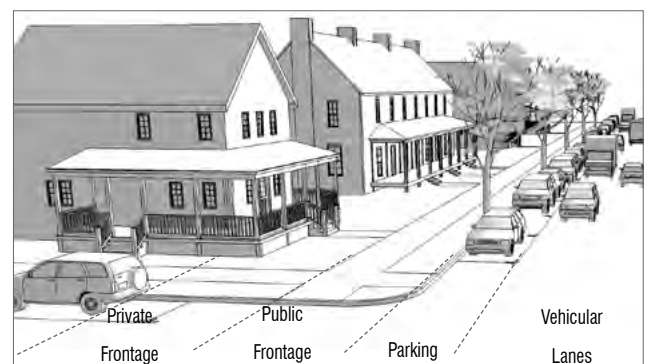
## ILLUSTRATION IV.P2 PRINCIPAL FRONTAGE & SECONDARY FRONTAGE



**Principal Use:** the primary or predominant Use of a Lot or Structure

**Private Frontage:** the privately held area between the Frontage Line and the Principal Building Facade. See **Table III.5.A (Private Frontage Types)**, **Illustration IV.P3 (Private Frontage)**, and **Illustration III.5.B (Frontage and Lot Lines)**.

## ILLUSTRATION IV.P3 PRIVATE FRONTAGE

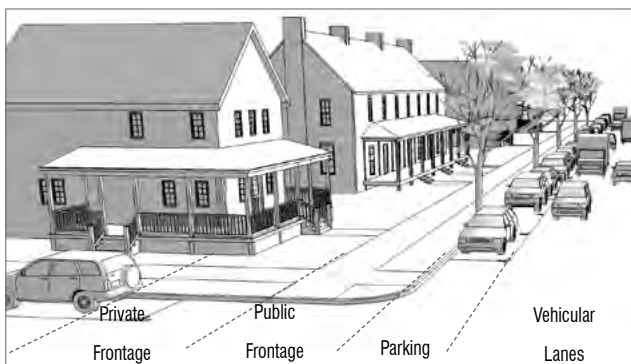




# ARTICLE IV: DEFINITIONS

**Public Frontage:** the area between the Frontage Line and (a) in the case of a Lot that Enfronts a Thoroughfare having Vehicular Lanes, the Curb (or if there is no Curb, the edge) of the Vehicular Lanes, or (b) in the case of a Lot that Enfronts a Civic Space, Path, Passage, water body, or Driveway, such Civic Space, Path, Passage, water body, or Driveway. See **Illustration IV.P4 (Public Frontage)** and **III.5.B (Frontage and Lot Lines)**.

## ILLUSTRATION IV.P4 PUBLIC FRONTAGE



## R

**Rear-yard:** the yard type resulting from a Building occupying the full Frontage Line, leaving the rear of the Lot as the sole yard.

**Regulating Plan:** a map or set of maps that shows the Character Districts, Civic Zones, Thoroughfares, and Special Requirements if any, of areas subject to, or proposed to be subject to, regulation by this Character-Based Code.

**Residential:** pertaining to premises available for longterm, non-Transient human habitation.

**Retail:** Use category characterized by selling, renting, or leasing new or used goods in person, on-line, or by mail in transactions dealing directly with the consumer of such goods.

**Residential:** Use category pertaining to premises available for long-term, non-Transient human habitation.

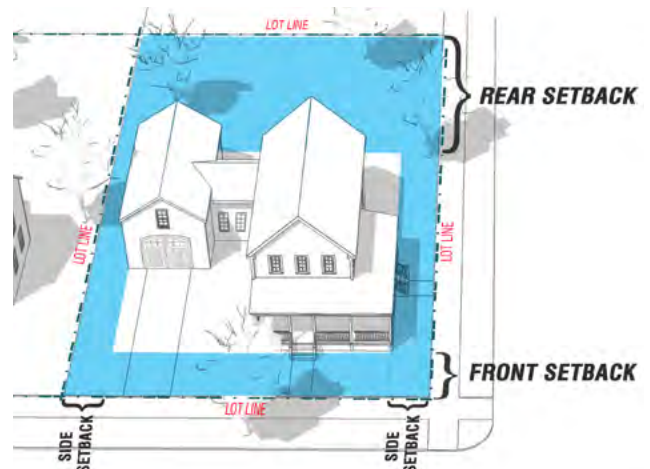
## S

**Screen:** (a) as a verb, to block an item or condition from view from a vantage point in accordance with the requirements of this Character-Based Code by interposition of (i) a Building, Building Element, wall or fence constructed of an opaque material or (ii) an evergreen hedge; (b) as a noun, (i) a Building, Building Element, wall, fence or evergreen hedge which blocks an item or condition from view from a vantage point. Not synonymous with **Street-screen**.

**Secondary Frontage:** on corner Lots, the Private Frontage that is not the Principal Frontage. See **Illustration IV.P2 (Principal Frontage & Secondary Frontage)**.

**Setback:** the area of a Lot measured from the Lot Line to a Building Facade that is maintained clear of permanent Structures, with the exception of permitted Encroachments, as indicated in **Illustration III.4.S (Setback Designations)**.

## ILLUSTRATION IV.S SETBACK



## ARTICLE IV: DEFINITIONS

**Shopfront:** a Private Frontage type conventional for retail Use, with substantial glazing and an awning, wherein the Facade is aligned close to the Frontage Line with the Building entrance at Sidewalk grade. See **Table III.5.A (Private Frontage Types)**.

**Sidewalk:** the paved section of the Public Frontage dedicated exclusively to pedestrian activity.

**Side-yard:** the yard type resulting from a Building occupying one side of its Lot with a Setback on the other side.

**Side-yard Building:** a Building that occupies one side of its Lot with a Setback on the other side.

**Special Exception:** a Use that is permitted pursuant to review and approval by the *[Board of Appeals/Board of Zoning Appeals/-----]*.

**Special Requirements:** as described in Section I.6.C and/or the associated designations on a Regulating Plan or other Plan for those provisions.

**Square:** a Civic Space type designed for unstructured recreation and Civic purposes, spatially defined by Building Frontages and consisting of Paths, lawns and trees, formally disposed. See **Table III.13.C.1 (Civic Space Types – Summary)**.

**Standard Pedestrian Shed:** a Pedestrian Shed that is an average 1/4 mile radius or 1320 feet, about the distance of a five-minute walk at a leisurely pace. See Pedestrian Shed.

**Stoop:** a Private Frontage type wherein the Facade is aligned close to the Frontage Line with the first Story

elevated from the Sidewalk for privacy, with an exterior stair and landing at the entrance. See **Table III.5.A (Private Frontage Types)**.

**Street-screen:** a type of Screen situated along a Frontage Line, or along the same plane as a Frontage Facade, and consisting of a planted evergreen hedge or freestanding wall constructed of brick or stucco over masonry, which blocks the view of parking, equipment, or other item or condition from the Frontage, provides privacy to a side yard, or strengthens the spatial definition of the public realm.

**Story:** a habitable level within a Building, excluding an Attic or raised basement.

### T

**Terminated Vista:** a location at the axial conclusion of a Thoroughfare. A Building located at a Terminated Vista location designated on a Regulating Plan is required to be designed in response to the axis.

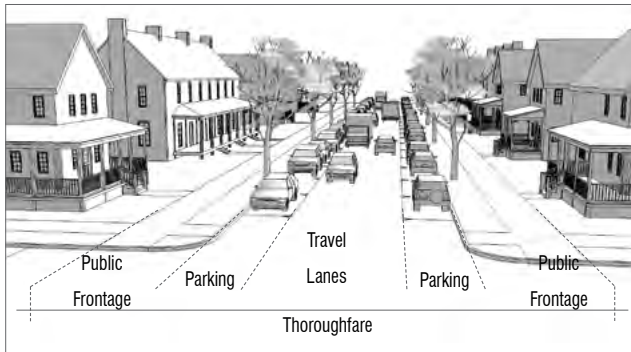
#### ILLUSTRATION IV.T1 TERMINATED VISTA





**Thoroughfare:** a way for use by vehicular and pedestrian traffic and to provide access to Lots and Open Spaces, consisting of Vehicular Lanes and the Public Frontage.

## ILLUSTRATION IV.T2 THOROUGHFARE



**Townhouse:** See **Table III.5.G.1 (Building Types – Summary)**.

**Transit Development District:** a special economic development district approved by the State Budget Committee drawn around a station area, no more than 0.5 square miles in area. Formed by a process that includes development analysis, community-wide input, best practices, and market analysis. They capture the incremental growth in local income and property tax revenue, for use in public investment related to the station area.

**Transit Station:** a Building or Structure where buses, trains, streetcars, trolleys, trams, light rail, or other mass transit vehicles or modes of transportation arrive and depart and at which passengers get on or off of such vehicles or modes of transportation.

## U

**Use:** the functions, activities or uses accommodated by a Building or Lot. See **Table III.7.A (Permitted Principal Uses)**.

## V

**Vehicular Lane:** an area of a Thoroughfare for parked or moving vehicles.

## ILLUSTRATION IV.V1 VEHICULAR LANES

